

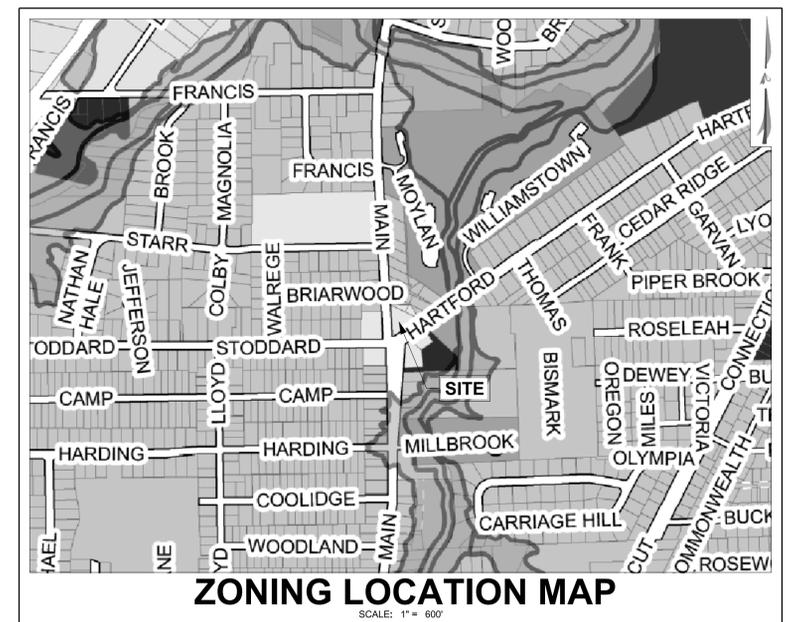
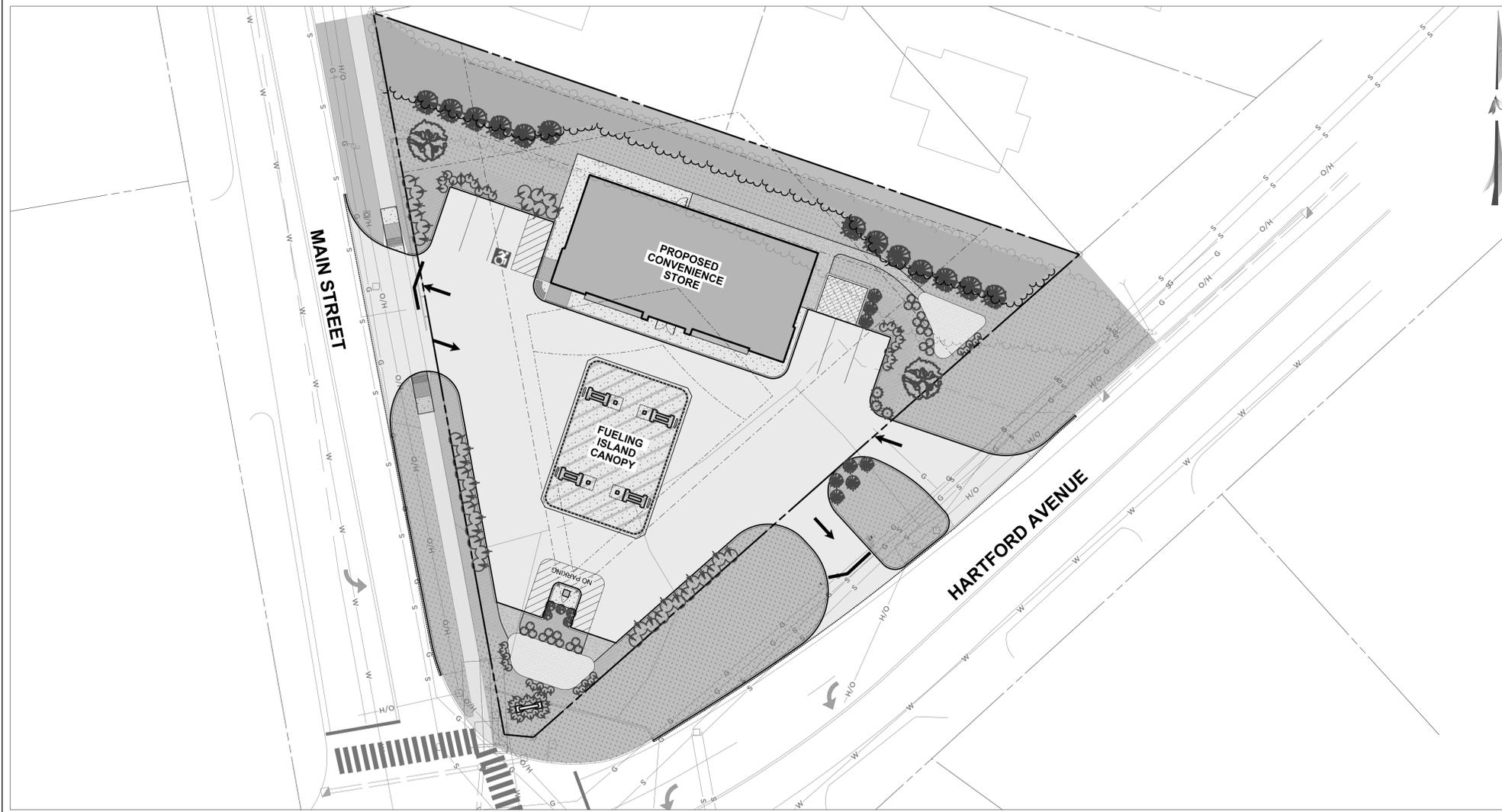
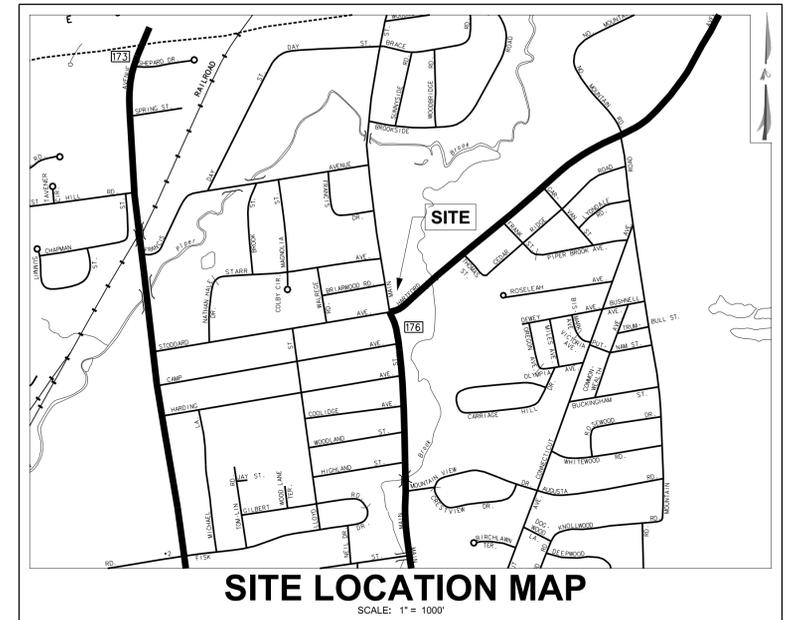
GAS STATION & CONVENIENCE STORE SITE DEVELOPMENT PLANS

4 HARTFORD AVENUE
NEWINGTON, CONNECTICUT
MAP 04 / BLOCK 177 / LOT 00A

PREPARED FOR

OWNER
NEWINGTON GAS DISTRIBUTORS, C/O PATRICIA CURRY
19 SACHEM CIRCLE
MERIDEN, CT 06450

APPLICANT
DIYALA, LLC
3 BUCKS CROSSING
CROMWELL, CT 06416



INDEX OF SHEETS

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SCALE: 1" = 20'
PROJECT NUMBER:
00082 - 00001



CONTACT INFORMATION
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Web: www.yanticriverconsultants.com

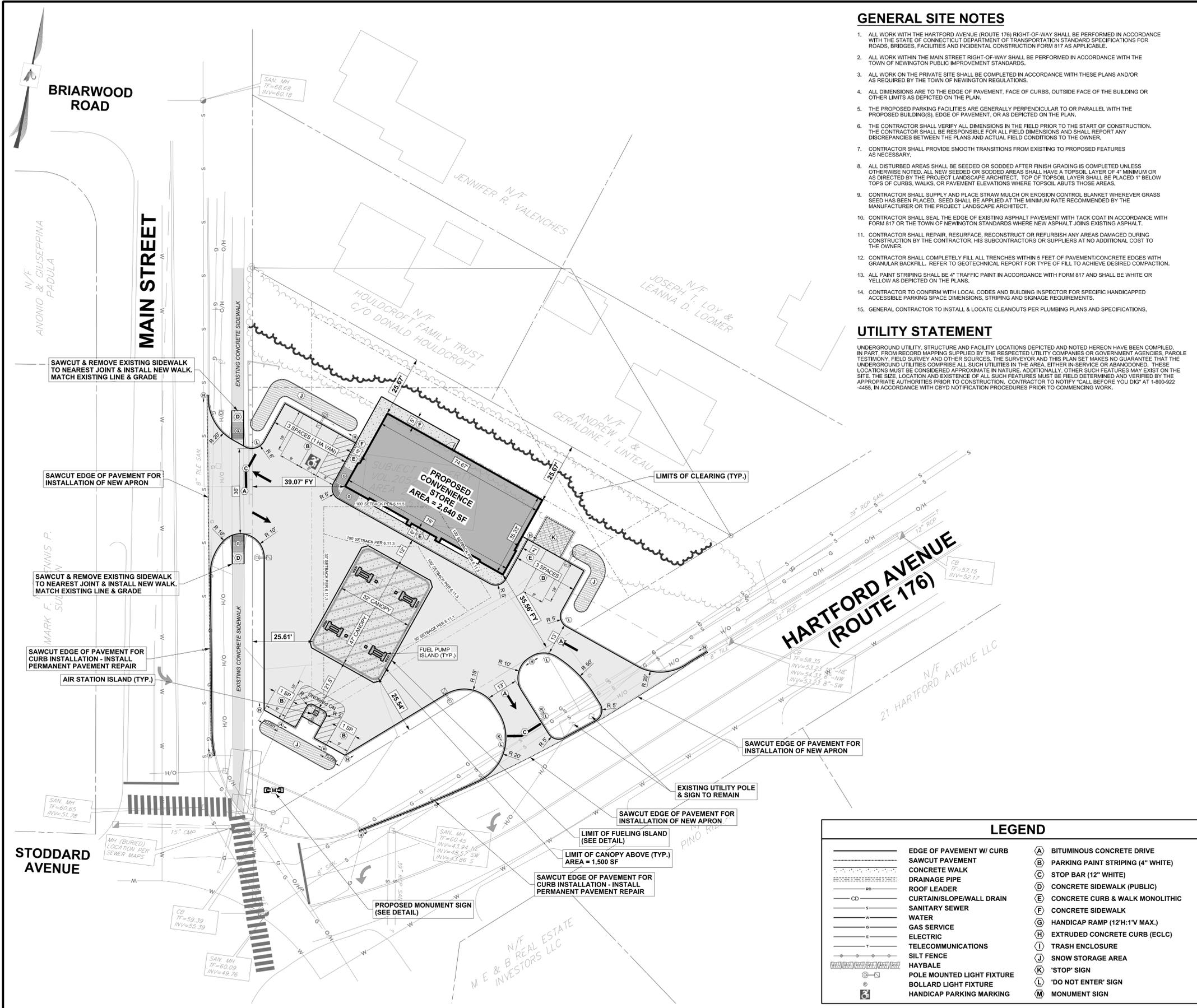


**GAS STATION & CONVENIENCE STORE
SITE DEVELOPMENT PLANS**
PREPARED FOR
DIYALA, LLC, APPLICANT
TITLE SHEET

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	1 OF 7
		DATE
		3/20/20
		REVISED

4 HARTFORD AVENUE

NEWINGTON, CT



GENERAL SITE NOTES

- ALL WORK WITH THE HARTFORD AVENUE (ROUTE 176) RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817 AS APPLICABLE.
- ALL WORK WITHIN THE MAIN STREET RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF NEWINGTON PUBLIC IMPROVEMENT STANDARDS.
- ALL WORK ON THE PRIVATE SITE SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND/OR AS REQUIRED BY THE TOWN OF NEWINGTON REGULATIONS.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OUTSIDE FACE OF THE BUILDING OR OTHER LIMITS AS DEPICTED ON THE PLAN.
- THE PROPOSED PARKING FACILITIES ARE GENERALLY PERPENDICULAR TO OR PARALLEL WITH THE PROPOSED BUILDING(S), EDGE OF PAVEMENT, OR AS DEPICTED ON THE PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM EXISTING TO PROPOSED FEATURES AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ABUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH OR EROSION CONTROL BLANKET WHEREVER GRASS SEED HAS BEEN PLACED. SEED SHALL BE APPLIED AT THE MINIMUM RATE RECOMMENDED BY THE MANUFACTURER OR THE PROJECT LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH FORM 817 OR THE TOWN OF NEWINGTON STANDARDS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PAVEMENT/CONCRETE EDGES WITH GRANULAR BACKFILL. REFER TO GEOTECHNICAL REPORT FOR TYPE OF FILL TO ACHIEVE DESIRED COMPACTION.
- ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH FORM 817 AND SHALL BE WHITE OR YELLOW AS DEPICTED ON THE PLANS.
- CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC HANDICAPPED ACCESSIBLE PARKING SPACE DIMENSIONS, STRIPING AND SIGNAGE REQUIREMENTS.
- GENERAL CONTRACTOR TO INSTALL & LOCATE CLEANOUTS PER PLUMBING PLANS AND SPECIFICATIONS.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES. PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

ZONING TABLE

ZONE: BUSINESS (B)				
USES: RETAIL STORE (PERMITTED 3.10.1.A) SERVICE, SALE, REPAIR, RENTAL OR STORAGE OF MOTOR VEHICLES (SPECIAL PERMIT 3.11.3)				
ITEM	REQUIRED STANDARD	EXISTING	PROPOSED	NOTES
MIN. LOT AREA:	10,000 SF	23,504 (0.54 AC)	23,504 (0.54 AC)	COMPLIES (NO CHANGE)
MIN. LOT FRONTAGE:	50 FT	460.0 FT	460.0 FT	COMPLIES (NO CHANGE)
MIN. FRONT YARD: CONVENIENCE STORE CANOPY	25 FT	N/A	35.6 FT	COMPLIES
MIN. SIDE YARD:	5 FT	N/A	25.5 FT	COMPLIES
MIN. REAR YARD:	5 FT	N/A	26.0 FT	COMPLIES
MAX. BLDG HEIGHT:	35 FT	N/A	<35 FT (SEE ARCH.)	COMPLIES
MAX. BLDG HEIGHT:	2 STORIES	N/A	1 STORY	COMPLIES
USES: SERVICE, SALE, REPAIR, RENTAL OR STORAGE OF MOTOR VEHICLES (6.11)				
ITEM	REQUIRED STANDARD	EXISTING	PROPOSED	NOTES
6.11.1:	30 FT	N/A	32.5 FT±	COMPLIES (TO GAS PUMP)
6.11.2:	30 FT	N/A	N/A	NO REPAIRS
6.11.3:	100 FT	N/A	100.6 FT±	COMPLIES (TO CANOPY)
6.11.4:	SEE APPLICATION DOCUMENTS			
6.11.5:	100 FT	N/A	137 FT±	COMPLIES (TO CANOPY)
6.11.6:	SEE APPLICATION DOCUMENTS			
6.11.7:	SEE APPLICATION DOCUMENTS			
6.11.8:	SEE APPLICATION DOCUMENTS			

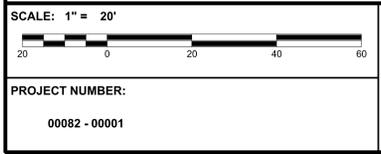
PARKING TABLE

USE	STANDARD	UNIT	REQUIRED	PROPOSED	NOTES
RETAIL STORES	5 SP. / 1,000 SF GFA	2,640 SF	13.3	16	COMPLIES
STANDARD 9' X 18'				7	
ACCESSIBLE (VAN) 16' X 18'				1	
FUEL PUMP 9' X 18'				8	
ACCESSIBLE PARKING					
MINIMUM SPACES	(1 - 25 SPACES)	1 SPACE	1	1	COMPLIES
VAN SPACES	1 PER EVERY 6 (MIN. 1)	1 SPACE	1	1	COMPLIES

LANDSCAPING TABLE

ITEM	STANDARD	UNIT	REQUIRED	PROPOSED
LOT LANDSCAPE	10% MIN. LOT AREA'	0.1 X 23,504	2,350 SF	3,780 SF²
INTERIOR PARKING	10% MIN. PARKING AREA	0.1 X 10,250	1,025 SF	1,630 SF²

NOTES:
 1. PER 6.10.1, 10% MIN. LOT LANDSCAPING CANNOT INCLUDE YARDS. ADDITIONAL GREEN SPACE OF YARDS = 5,540 SF.
 2. AREA INCLUDES ALL PERVIOUS AREA INTERNAL OF THE YARDS.
 3. AREA INCLUDES ALL LANDSCAPING DESIGNATED BY MULCH.



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LEGEND

—	EDGE OF PAVEMENT W/ CURB	(A)	BITUMINOUS CONCRETE DRIVE
—	SAWCUT PAVEMENT	(B)	PARKING PAINT STRIPING (4" WHITE)
—	CONCRETE WALK	(C)	STOP BAR (12" WHITE)
—	DRAINAGE PIPE	(D)	CONCRETE SIDEWALK (PUBLIC)
—	ROOF LEADER	(E)	CONCRETE CURB & WALK MONOLITHIC
—	CURTAIN/SLOPE/WALL DRAIN	(F)	CONCRETE SIDEWALK
—	SANITARY SEWER	(G)	HANDICAP RAMP (12'H:1'V MAX.)
—	WATER	(H)	EXTRUDED CONCRETE CURB (ECLC)
—	GAS SERVICE	(I)	TRASH ENCLOSURE
—	ELECTRIC	(J)	SNOW STORAGE AREA
—	TELECOMMUNICATIONS	(K)	'STOP' SIGN
—	SILT FENCE	(L)	'DO NOT ENTER' SIGN
—	HAYBALE	(M)	MONUMENT SIGN
—	POLE MOUNTED LIGHT FIXTURE		
—	BOLLARD LIGHT FIXTURE		
—	HANDICAP PARKING MARKING		

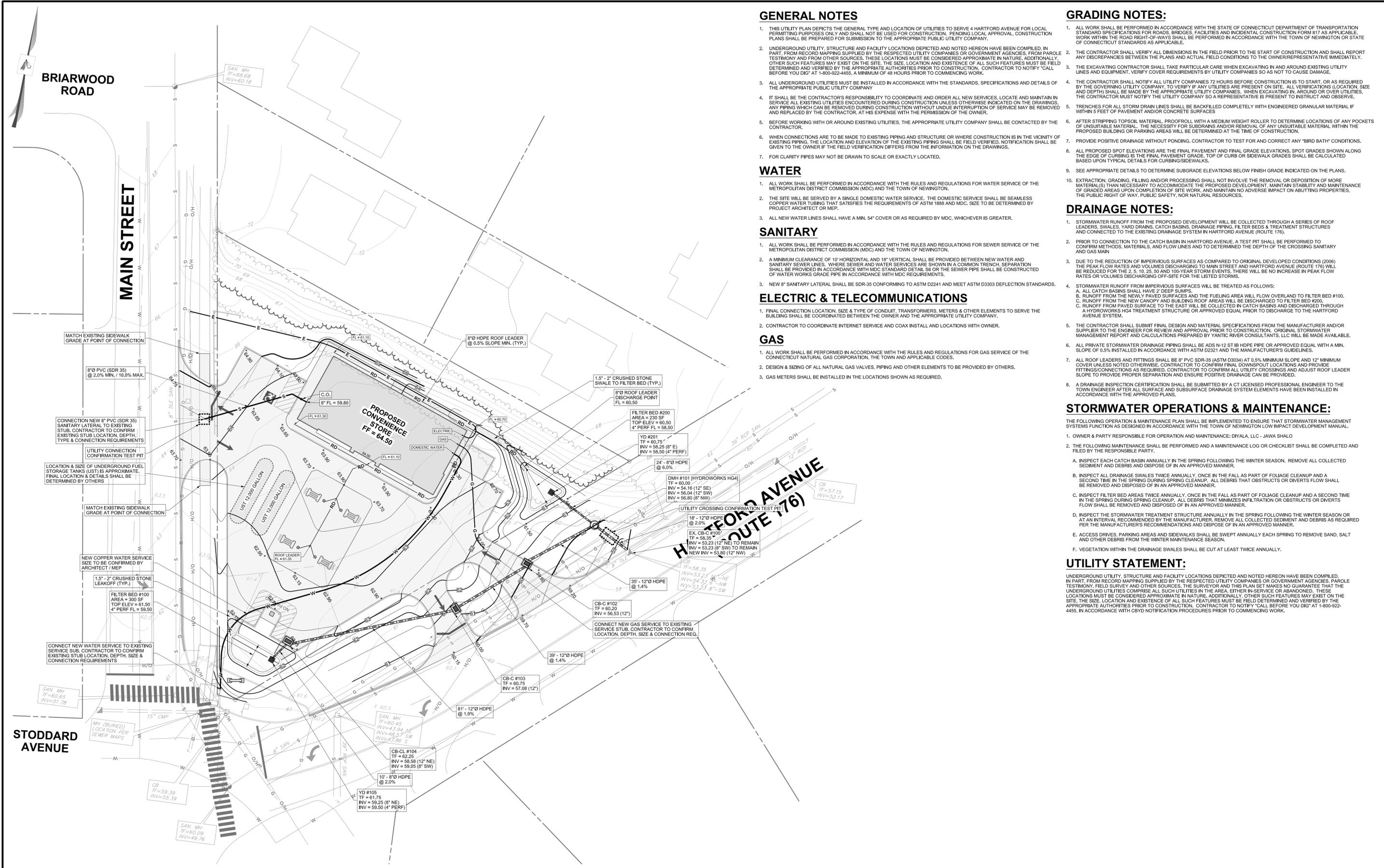


CONTEXT MAP & ACCESS MANAGEMENT PLAN
 SCALE: 1" = 200'

REVISION SUMMARY		SHEET 2 OF 7
DATE	DESCRIPTION	
3/20/20		DATE
		REVISED

GAS STATION & CONVENIENCE STORE SITE DEVELOPMENT PLANS
 PREPARED FOR
 DIYALA, LLC, APPLICANT
DETAILED SITE LAYOUT PLAN

4 HARTFORD AVENUE NEWINGTON, CT



GENERAL NOTES

- THIS UTILITY PLAN DEPICTS THE GENERAL TYPE AND LOCATION OF UTILITIES TO SERVE 4 HARTFORD AVENUE FOR LOCAL PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. PENDING LOCAL APPROVAL, CONSTRUCTION PLANS SHALL BE PREPARED FOR SUBMISSION TO THE APPROPRIATE PUBLIC UTILITY COMPANY.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES. FROM PAROLE TESTIMONY AND FROM OTHER SOURCES, THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS AND DETAILS OF THE APPROPRIATE PUBLIC UTILITY COMPANY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES, LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES DURING CONSTRUCTION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
- BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPROPRIATE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
- WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURE OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE FIELD VERIFICATION DIFFERS FROM THE INFORMATION ON THE DRAWINGS.
- FOR CLARITY PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.

WATER

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR WATER SERVICE OF THE METROPOLITAN DISTRICT COMMISSION (MDC) AND THE TOWN OF NEWINGTON.
- THE SITE WILL BE SERVED BY A SINGLE DOMESTIC WATER SERVICE. THE DOMESTIC SERVICE SHALL BE SEAMLESS COPPER WATER TUBING THAT SATISFIES THE REQUIREMENTS OF ASTM 1088 AND MDC. SIZE TO BE DETERMINED BY PROJECT ARCHITECT OR MEP.
- ALL NEW WATER LINES SHALL HAVE A MIN. 54" COVER OR AS REQUIRED BY MDC, WHICHEVER IS GREATER.

SANITARY

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR SEWER SERVICE OF THE METROPOLITAN DISTRICT COMMISSION (MDC) AND THE TOWN OF NEWINGTON.
- A MINIMUM CLEARANCE OF 10' HORIZONTAL AND 18" VERTICAL SHALL BE PROVIDED BETWEEN NEW WATER AND SANITARY SEWER LINES. WHERE SEWER AND WATER SERVICES ARE SHOWN IN A COMMON TRENCH, SEPARATION SHALL BE PROVIDED IN ACCORDANCE WITH MDC STANDARD DETAIL S8 OR THE SEWER PIPE SHALL BE CONSTRUCTED OF WATER WORKS GRADE PIPE IN ACCORDANCE WITH MDC REQUIREMENTS.
- NEW 8" SANITARY LATERAL SHALL BE SDR-35 CONFORMING TO ASTM D2241 AND MEET ASTM D3303 DEFLECTION STANDARDS.

ELECTRIC & TELECOMMUNICATIONS

- FINAL CONNECTION LOCATION, SIZE & TYPE OF CONDUIT, TRANSFORMERS, METERS & OTHER ELEMENTS TO SERVE THE BUILDING SHALL BE COORDINATED BETWEEN THE OWNER AND THE APPROPRIATE UTILITY COMPANY.
- CONTRACTOR TO COORDINATE INTERNET SERVICE AND COAX INSTALL AND LOCATIONS WITH OWNER.

GAS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR GAS SERVICE OF THE CONNECTICUT NATURAL GAS CORPORATION, THE TOWN AND APPLICABLE CODES.
- DESIGN & SIZING OF ALL NATURAL GAS VALVES, PIPING AND OTHER ELEMENTS TO BE PROVIDED BY OTHERS.
- GAS METERS SHALL BE INSTALLED IN THE LOCATIONS SHOWN AS REQUIRED.

GRADING NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817 AS APPLICABLE. WORK WITHIN THE ROAD RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF NEWINGTON OR STATE OF CONNECTICUT STANDARDS AS APPLICABLE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER/REPRESENTATIVE IMMEDIATELY.
- THE EXCAVATING CONTRACTOR SHALL TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START OR AS REQUIRED BY THE GOVERNING UTILITY COMPANY. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IN, AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE IS PRESENT TO INSTRUCT AND OBSERVE.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT AND/OR CONCRETE SURFACES.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING OR PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING. CONTRACTOR TO TEST FOR AND CORRECT ANY "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS. SPOT GRADES SHOWN ALONG THE EDGE OF CURBING IS THE FINAL PAVEMENT GRADE. TOP OF CURB OR SIDEWALK GRADES SHALL BE CALCULATED BASED UPON TYPICAL DETAILS FOR CURBING/SIDEWALKS.
- SEE APPROPRIATE DETAILS TO DETERMINE DRAINAGE SUBGRADE ELEVATIONS BEFORE FINISH GRADE INDICATED ON THE PLANS.
- EXTRACTION, GRADING, FILLING AND/OR PROCESSING SHALL NOT INVOLVE THE REMOVAL OR DEPOSITION OF MORE MATERIAL(S) THAN NECESSARY TO ACCOMMODATE THE PROPOSED DEVELOPMENT, MAINTAIN STABILITY AND MAINTENANCE OF GRADED AREAS UPON COMPLETION OF SITE WORK, AND MAINTAIN NO ADVERSE IMPACT ON ABUTTING PROPERTIES, THE PUBLIC RIGHT OF WAY, PUBLIC SAFETY, NOR NATURAL RESOURCES.

DRAINAGE NOTES:

- STORMWATER RUNOFF FROM THE PROPOSED DEVELOPMENT WILL BE COLLECTED THROUGH A SERIES OF ROOF LEADERS, SWALES, YARD DRAINS, CATCH BASINS, DRAINAGE PIPING, FILTER BEDS & TREATMENT STRUCTURES AND CONNECTED TO THE EXISTING DRAINAGE SYSTEM IN HARTFORD AVENUE (ROUTE 176).
- PRIOR TO CONNECTION TO THE CATCH BASIN IN HARTFORD AVENUE, A TEST PIT SHALL BE PERFORMED TO CONFIRM METHODS, MATERIALS, AND FLOW LINES AND TO DETERMINE THE DEPTH OF THE CROSSING SANITARY AND GAS MAIN.
- DUE TO THE REDUCTION OF IMPERVIOUS SURFACES AS COMPARED TO ORIGINAL DEVELOPED CONDITIONS (2006) THE PEAK FLOW RATES AND VOLUMES DISCHARGING TO MAIN STREET AND HARTFORD AVENUE (ROUTE 176) WILL BE REDUCED FOR THE 2, 5, 10, 25, 50 AND 100-YEAR STORM EVENTS. THERE WILL BE NO INCREASE IN PEAK FLOW RATES OR VOLUMES DISCHARGING OFF-SITE FOR THE LISTED STORMS.
- STORMWATER RUNOFF FROM IMPERVIOUS SURFACES WILL BE TREATED AS FOLLOWS:
A. ALL CATCH BASINS SHALL HAVE 2' DEEP SWALES.
B. RUNOFF FROM THE NEWLY PAVED SURFACES AND THE FUELING AREA WILL FLOW OVERLAND TO FILTER BED #100.
C. RUNOFF FROM THE NEW CANOPY AND BUILDING ROOF AREAS WILL BE DISCHARGED TO FILTER BED #200.
D. RUNOFF FROM PAVED SURFACE TO THE EAST WILL BE COLLECTED IN CATCH BASINS AND DISCHARGED THROUGH A HYDROWORKS H4-TREATMENT STRUCTURE OR APPROVED EQUAL RATIO TO DISCHARGE TO THE HARTFORD AVENUE SYSTEM.
- THE CONTRACTOR SHALL SUBMIT FINAL DESIGN AND MATERIAL SPECIFICATIONS FROM THE MANUFACTURER AND/OR SUPPLIER TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. ORIGINAL STORMWATER MANAGEMENT REPORT AND CALCULATIONS PREPARED BY YANTIC RIVER CONSULTANTS, LLC WILL BE MADE AVAILABLE.
- ALL PRIVATE STORMWATER DRAINAGE PIPING SHALL BE ADS N-12 ST 18" HDPE PIPE OR APPROVED EQUAL WITH A MIN. SLOPE OF 0.5% INSTALLED IN ACCORDANCE WITH ASTM D2221 AND THE MANUFACTURER'S GUIDELINES.
- ALL ROOF LEADERS AND FITTINGS SHALL BE 8" PVC SDR-35 (ASTM D3034) AT 0.5% MINIMUM SLOPE AND 12" MINIMUM COVER UNLESS NOTED OTHERWISE. CONTRACTOR TO CONFIRM FINAL DOWNSPOUT LOCATION AND PROVIDE FITTINGS/CONNECTIONS AS REQUIRED. CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS AND ADJUST ROOF LEADER SLOPE TO PROVIDE PROPER SEPARATION AND ENSURE POSITIVE DRAINAGE CAN BE PROVIDED.
- A DRAINAGE INSPECTION CERTIFICATION SHALL BE SUBMITTED BY A CT LICENSED PROFESSIONAL ENGINEER TO THE TOWN ENGINEER AFTER ALL SURFACE AND SUBSURFACE DRAINAGE SYSTEM ELEMENTS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.

STORMWATER OPERATIONS & MAINTENANCE:

THE FOLLOWING OPERATION & MAINTENANCE PLAN SHALL BE IMPLEMENTED TO ENSURE THAT STORMWATER MANAGEMENT SYSTEMS FUNCTION AS DESIGNED IN ACCORDANCE WITH THE TOWN OF NEWINGTON LOW IMPACT DEVELOPMENT MANUAL.

- OWNER & PARTY RESPONSIBLE FOR OPERATION AND MAINTENANCE: DIYALA, LLC - JAWA SHALO
- THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AND A MAINTENANCE LOG OR CHECKLIST SHALL BE COMPLETED AND FILED BY THE RESPONSIBLE PARTY.
 - INSPECT EACH CATCH BASIN ANNUALLY IN THE SPRING FOLLOWING THE WINTER SEASON. REMOVE ALL COLLECTED SEDIMENT AND DEBRIS AND DISPOSE OF IN AN APPROVED MANNER.
 - INSPECT ALL DRAINAGE SWALES TWICE ANNUALLY, ONCE IN THE FALL AS PART OF FOLIAGE CLEANUP AND A SECOND TIME IN THE SPRING DURING SPRING CLEANUP. ALL DEBRIS THAT OBSTRUCTS OR DIVERTS FLOW SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
 - INSPECT FILTER BED AREAS TWICE ANNUALLY, ONCE IN THE FALL AS PART OF FOLIAGE CLEANUP AND A SECOND TIME IN THE SPRING DURING SPRING CLEANUP. ALL DEBRIS THAT MINIMIZES INFILTRATION OR OBSTRUCTS OR DIVERTS FLOW SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
 - INSPECT THE STORMWATER TREATMENT STRUCTURE ANNUALLY IN THE SPRING FOLLOWING THE WINTER SEASON OR AT AN INTERVAL RECOMMENDED BY THE MANUFACTURER. REMOVE ALL COLLECTED SEDIMENT AND DEBRIS AS REQUIRED PER THE MANUFACTURER'S RECOMMENDATIONS AND DISPOSE OF IN AN APPROVED MANNER.
 - ACCESS DRIVES, PARKING AREAS AND SIDEWALKS SHALL BE SWEEPED ANNUALLY EACH SPRING TO REMOVE SAND, SALT AND OTHER DEBRIS FROM THE WINTER MAINTENANCE SEASON.
 - VEGETATION WITHIN THE DRAINAGE SWALES SHALL BE CUT AT LEAST TWICE ANNUALLY.

UTILITY STATEMENT:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES. PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

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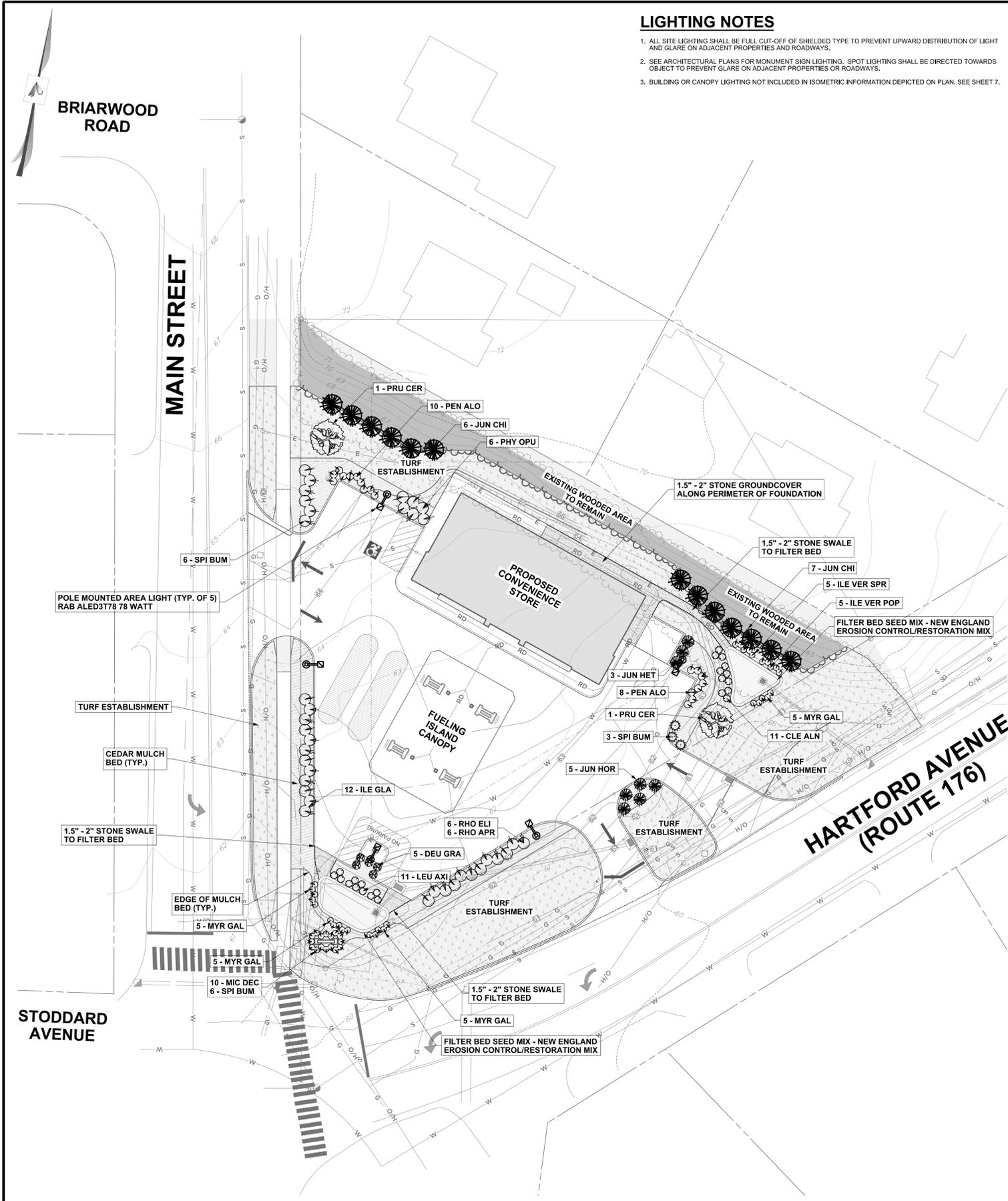
GAS STATION & CONVENIENCE STORE SITE DEVELOPMENT PLANS

PREPARED FOR
DIYALA, LLC, APPLICANT

GRADING, DRAINAGE & UTILITY PLAN

4 HARTFORD AVENUE NEWINGTON, CT

SHEET	3 OF 7
DATE	3/20/20
REVISED	



LIGHTING NOTES

1. ALL SITE LIGHTING SHALL BE FULL CUT-OFF OF SHIELDED TYPE TO PREVENT UPWARD DISTRIBUTION OF LIGHT AND GLARE ON ADJACENT PROPERTIES AND ROADWAYS.
2. SEE ARCHITECTURAL PLANS FOR MONUMENT SIGN LIGHTING. SPOT LIGHTING SHALL BE DIRECTED TOWARDS OBJECT TO PREVENT GLARE ON ADJACENT PROPERTIES OR ROADWAYS.
3. BUILDING OR CANOPY LIGHTING NOT INCLUDED IN ISOMETRIC INFORMATION DEPICTED ON PLAN. SEE SHEET 7.

LANDSCAPE PLANTING NOTES:

1. ALL LANDSCAPE MATERIALS AND METHODS SHALL COMPLY WITH TOWN OF NEWINGTON REGULATIONS AND REQUIREMENTS.
2. ALL AREAS OF THE PROJECT SITE AFFECTED BY CONSTRUCTION OPERATIONS AND NOT COVERED BY BUILDINGS, ROADS, PARKING LOTS, WALKS, PLANTING BEDS, OR OTHER PERMANENT IMPROVEMENTS SHALL BE FINE GRADED, FERTILIZED AND SEEDED WITH A PERENNIAL TURF TYPE GRASS SEED MIX.
3. ALL LANDSCAPE MATERIALS SHALL COMPLY WITH STATE OF CONNECTICUT DOT STANDARD SPECIFICATIONS FORM 817, AS AMENDED.
4. SOIL PREPARATION SHALL BE LIMITED TO AREAS TO BE PLANTED WITHIN SEVEN (7) DAYS.
5. SPREAD TOPSOIL THAT IS FERTILE, FRAGILE, NATURAL LOAM WITHIN LAWN AREAS TO A MINIMUM DEPTH OF 4 INCHES UNLESS OTHERWISE NOTED. REMOVE ALL STONES, STICKS, WEEDS, CLODS, LUMPS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER OVER 1 INCH IN ANY DIMENSION WITHIN 4" OF FINISH GRADE.
6. PROTECT EXISTING LAWN AREAS AND CREATE A SMOOTH TRANSITION BETWEEN THEM AND NEW WORK. REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT.
7. SECURE ACCEPTANCE OF FINE GRADING BY THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF SEEDING OR SODDING OPERATIONS.
8. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY OFF BEFORE PLANTING OF LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
9. RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO PLANTING.
10. PLANT MATERIAL SHALL BE INSTALLED AFTER FINAL GRADES AREA ESTABLISHED AND PRIOR TO PLANTING OF LAWNS, UNLESS OTHERWISE ACCEPTABLE TO OWNER'S REPRESENTATIVE. IF PLANTING OF TREES AND SHRUBS OCCURS AFTER LAWN WORK, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE RESULTING FROM PLANTING OPERATIONS.
11. PROVIDE TREES, SHRUBS, AND ALL OTHER PLANT MATERIAL OF GENUS, SPECIES, VARIETY, HEIGHT AND CALIPER SHOWN.
12. PLANT MATERIAL SHALL BE INSTALLED IN THE FOLLOWING STEPS:
 - A. EXCAVATE PITS, BEDS, AND TRENCHES WITH SLOPING SIDES AND A FLAT BOTTOM. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
 - B. EXCAVATIONS FOR BALLED AND BURLAPPED (B&B) TREES AND SHRUBS SHALL BE 2 TO 3 TIMES THE WIDTH BUT NO DEEPER THAN THE ROOT BALL.
 - C. PLACE PLANT MATERIAL IN HOLE. CLIP AND ROLL DOWN OR REMOVE THE WIRE CAGE, BURLAP AND NYLON STRING.
 - D. PRUNE CLEANLY ANY DEAD OR CRUSHED ROOTS AND STRAIGHTEN OR CUT ENCIRCLING ROOTS IF PRESENT.
 - E. USING THE SAME SOIL AS DUG FROM THE HOLE, FILL UNDER AND AROUND THE ROOT BALL. GENTLY PRESS INTO PLACE. FILL THE HOLE PARTIALLY WITH WATER. CONTINUE TO PLACE SOIL INTO THE HOLE UNTIL THE SURFACE LEVEL IS JUST BELOW THE ROOT COLLAR.
 - F. CREATE A SOIL BERM AROUND THE TRUNK TWO (2) TIMES THE WIDTH OF THE ROOT BALL. ADD 3" OF SHREDDED BARK MULCH OR APPROVED EQUAL OVER THE SOIL BERM STAYING AT LEAST 3' AWAY FROM THE ROOT COLLAR.
13. ALL PLANT MATERIALS SHALL BE INSPECTED FOR DEFECTS OR DAMAGE BEFORE PLANTING. SUBSTANDARD PLANTS SHALL BE RETURNED TO, AND REPLACED BY THE CONTRACTOR. ACCEPTABLE PLANTS ARE TO BE PLANTED PER THE SPECIFICATIONS OF THE PLANTING PLAN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR THE SAFEKEEPING AND MAINTENANCE OF THESE PLANTS FOR THE DURATION OF SITE CONSTRUCTION ACTIVITY. ONCE PLANTED, ALL MACHINERY SHALL AVOID THESE PLANTED AREAS WHICH SHOULD BE DEMARCATED CLEARLY BY FLAGGED FIELD STAKES. PROVISIONS FOR REGULAR WATERING AND INSPECTIONS SHALL BE MADE BY THE OWNER, OR NURSERY CONTRACTOR FOR THE DURATION OF THE PLANT'S FIRST YEAR IN THE GROUND.
14. ALL PLANT MATERIAL PLACEMENT IS SUBJECT TO FIELD ADJUSTMENT IN RESPONSE TO SITE CONDITIONS. THESE ADJUSTMENTS SHALL BE AT THE DISCRETION OF THE OWNER OR LANDSCAPE ARCHITECT.
15. ALL PLANT MATERIALS ARE SUBJECT TO REPLACEMENT BY SUITABLE ALTERNATIVES PER AGREEMENT BETWEEN OWNER, LANDSCAPE ARCHITECT, NURSERY CONTRACTOR, AND APPROPRIATE AGENCIES.
16. PLANT MATERIALS ARE TO BE PLANTED IN ACCORDANCE WITH REQUIREMENTS SPECIFIED IN THE PLANTING SPECIFICATIONS. AN APPLICATION OF LIME MAY BE REQUIRED IN ADDITION TO A STANDARD APPLICATION OF A COMPLETE FERTILIZER COMPOUND AT THE DISCRETION OF THE OWNER OR LANDSCAPE ARCHITECT.

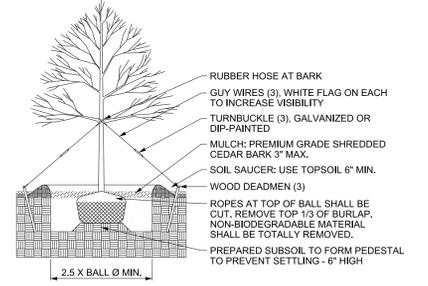
PLANT LIST					
LABEL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
DECIDUOUS TREES					
PRU CER	2	THUNDERCLOUD FLOWERING PLUM	PRUNUS CERASIFERA 'THUNDERCLOUD'	3" CAL.	B&B
DECIDUOUS SHRUBS					
CLE ALN	11	CRYSTALINA SUMMERSWEET	CLETHRA ALNIFOLIA 'CRYSTALINA'	3 GAL.	CG
DEU GRA	5	SLENDER DEUTZIA	DEUTZIA GRACILIS	3 GAL.	CG
ILE VER POP	5	MIR. POPPINS WINTERBERRY	ILEX VERTICILLATA 'MR. POPPINS' (Mm)	3 GAL.	CG
ILE VER SPR	5	RED SPRITE WINTERBERRY	ILEX VERTICILLATA 'RED SPRITE' (Firm)	3 GAL.	CG
PHY OPU	6	TINY WINE N'EBARK	PHYSCARPUS OPLAUFOLIUS 'TINY WINE'	3 GAL.	CG
SPI BUM	15	GOLDFLAME SPIREA	SPIREA BUMALDA 'GOLD FLAME'	3 GAL.	CG
EVERGREEN TREES & SHRUBS					
ILE GLA	12	STRONGBOX HARBERRY	ILEX GLABRA 'STRONGBOX'	3 GAL.	CG
JUN CHI	13	BLUE POINT JUNPER	JUNIPERUS CHINENSIS 'BLUE POINT'	4 MIN.	CG
JUN HET	3	COLUMNAR HETZU JUNPER	JUNIPERUS CHIN HETZU COLUMNARIS	4 MIN.	CG
JUN HOR	5	BAR HARBOR JUNPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	3 GAL.	CG
LEU AXI	11	COAST LEUCOTHAUS	LEUCOTHAUS AXILLARIS	3 GAL.	CG
MIC DEC	10	CELTIC PRIDE RUSSIAN CYPRESS	MICROBOTA DECUSSATA	5 GAL.	CG
MYR GAL	20	LOWBOY SWEET GALE BAYBERRY	MYRICA GALE LOWBOY'	3 GAL.	CG
RHO APR	6	APRIL SNOW P.J.M. HYBRID RHODO.	RHODODENDRON P.J.M. HYBRID 'APRIL SNOW'	3 GAL.	CG
RHO ELI	6	ELITE P.J.M. HYBRID RHODO.	RHODODENDRON P.J.M. HYBRID ELITE	3 GAL.	CG
GRASSES					
PEN ALO	18	DWARF FOUNTAIN GRASS	PENNISETUM ALPECOLOIDES	1 GAL.	CG

LANDSCAPING COMPLIANCE TABLE				
ITEM	STANDARD	UNIT	REQUIRED	PROPOSED
LOT LANDSCAPE	10% MIN. LOT AREA'	0.1 X 23,504	2,350 SF	3,780 SF ²
INTERIOR PARKING	10% MIN. PARKING AREA	0.1 X 10,250	1,025 SF	1,630 SF ³

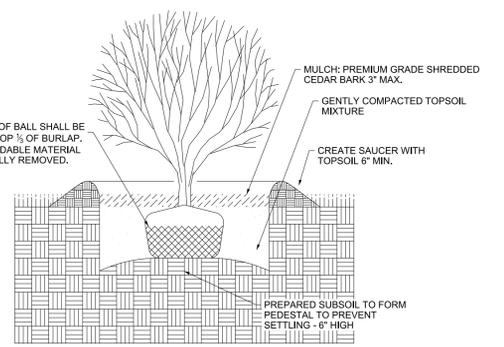
NOTES:
 1. PER 8.10.1, 10% MIN. LOT LANDSCAPING CANNOT INCLUDE YARDS. ADDITIONAL GREEN SPACE OF YARDS = 5,540 SF.
 2. AREA INCLUDES ALL PVIOUS AREA INTERNAL OF THE YARDS.
 3. AREA INCLUDES ALL LANDSCAPING DESIGNATED BY MULCH.

LIGHTING NOTES

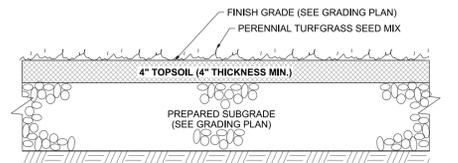
1. ALL SITE LIGHTING SHALL BE FULL CUT-OFF OF SHIELDED TYPE TO PREVENT UPWARD DISTRIBUTION OF LIGHT AND GLARE ON ADJACENT PROPERTIES AND ROADWAYS.
2. SEE ARCHITECTURAL PLANS FOR MONUMENT SIGN LIGHTING. SPOT LIGHTING SHALL BE DIRECTED TOWARDS OBJECT TO PREVENT GLARE ON ADJACENT PROPERTIES OR ROADWAYS.
3. BUILDING OR CANOPY LIGHTING NOT INCLUDED IN ISOMETRIC INFORMATION DEPICTED ON PLAN. SEE SHEET 7.



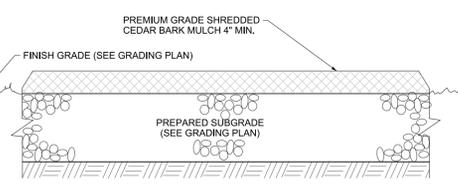
TREE PLANTING
NOT TO SCALE



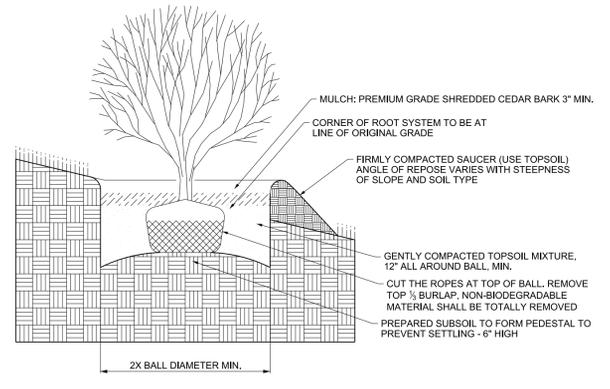
SHRUB PLANTING
NOT TO SCALE



TURF ESTABLISHMENT
NOT TO SCALE



MULCH SURFACE TREATMENT
NOT TO SCALE



SHRUB PLANTED ON SLOPE
NOT TO SCALE

SCALE: 1" = 20'

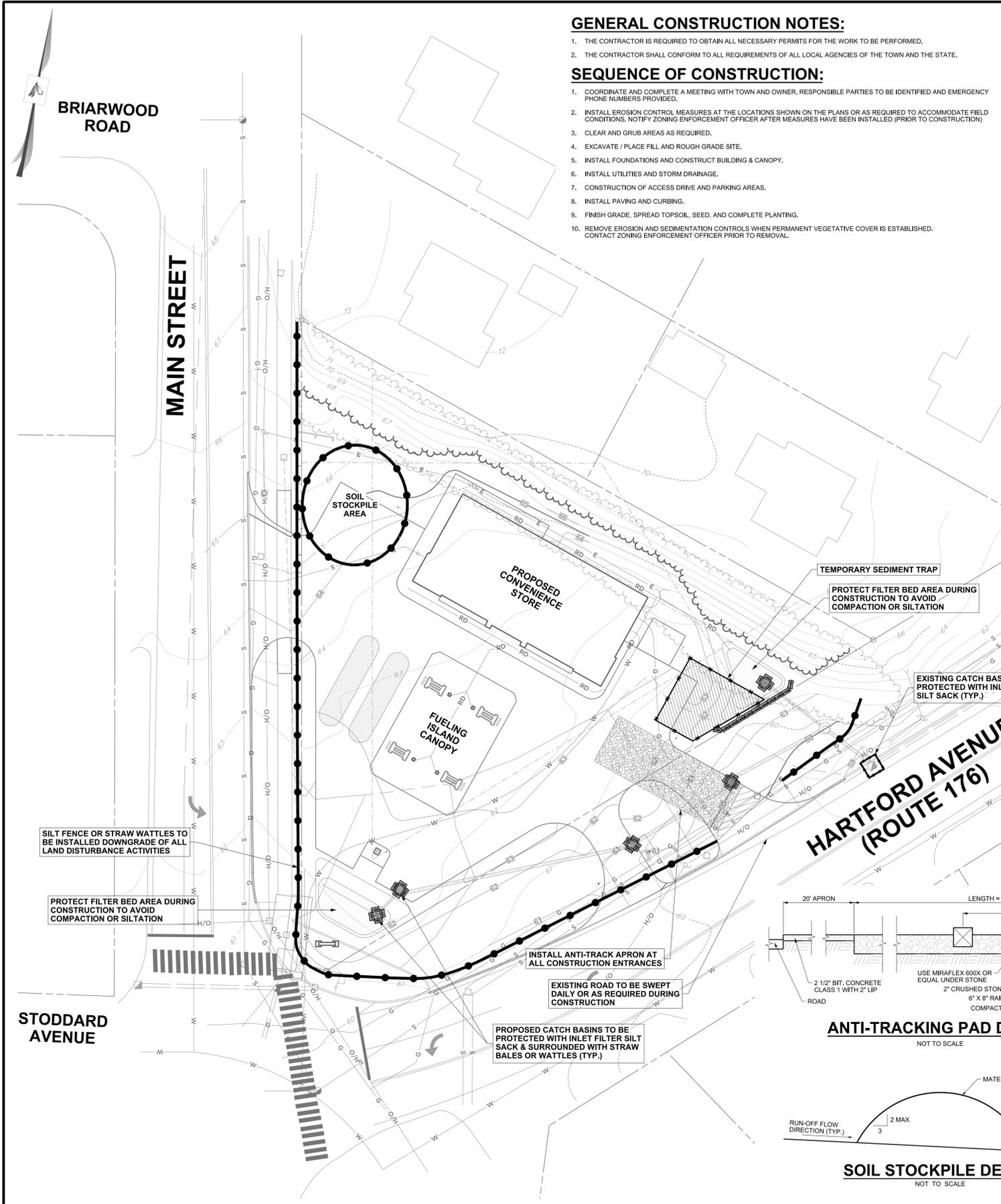
PROJECT NUMBER:
00082 - 00001

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GAS STATION & CONVENIENCE STORE SITE DEVELOPMENT PLANS
 PREPARED FOR
 DIYALA, LLC, APPLICANT
LANDSCAPING & LIGHTING PLAN

4 HARTFORD AVENUE
NEWINGTON, CT

REVISION SUMMARY		SHEET 4 OF 7
DATE	DESCRIPTION	
3/20/20	PREPARED FOR DIYALA, LLC, APPLICANT	DATE
		REVISED



GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK TO BE PERFORMED.
2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN AND THE STATE.

SEQUENCE OF CONSTRUCTION:

1. COORDINATE AND COMPLETE A MEETING WITH TOWN AND OWNER. RESPONSIBLE PARTIES TO BE IDENTIFIED AND EMERGENCY PHONE NUMBERS PROVIDED.
2. INSTALL EROSION CONTROL MEASURES AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS. NOTIFY ZONING ENFORCEMENT OFFICER AFTER MEASURES HAVE BEEN INSTALLED (PRIOR TO CONSTRUCTION)
3. CLEAR AND GRUB AREAS AS REQUIRED.
4. EXCAVATE / PLACE FILL AND ROUGH GRADE SITE.
5. INSTALL FOUNDATIONS AND CONSTRUCT BUILDING & CANOPY.
6. INSTALL UTILITIES AND STORM DRAINAGE.
7. CONSTRUCTION OF ACCESS DRIVE AND PARKING AREAS.
8. INSTALL PAVING AND CURBING.
9. FINISH GRADE, SPREAD TOPSOIL, SEED, AND COMPLETE PLANTING.
10. REMOVE EROSION AND SEDIMENTATION CONTROLS WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED. CONTACT ZONING ENFORCEMENT OFFICER PRIOR TO REMOVAL.

EROSION & SEDIMENT CONTROL PLAN:

1. OWNER & PARTY RESPONSIBLE FOR EROSION & SEDIMENTATION CONTROL: JAWA SAHLO - DIYALA, LLC. EMERGENCY PHONE: TO BE PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL EROSION AND CONTROL MEASURES SHALL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE.
3. AN ANTI-TRACKING APRON WILL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. WHERE POSSIBLE EXISTING PAVED APRONS AND SURFACES SHALL BE MAINTAINED TO MINIMIZE TRACKING. THE SURROUNDING ROAD SURFACES SHALL BE SWEEPED AS REQUIRED.
4. ALL CATCH BASINS WITHIN THE PROJECT AREA, INCLUDING WITHIN HARTFORD AVENUE, WILL BE PROTECTED WITH INLET CONTROL FILTER SILT SACKS AS SHOWN ON THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD. IN ADDITION, CATCH BASINS ON THE SITE SHALL BE PROTECTED WITH STRAW WADDLES OR HAYBALES.
5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL STOCKPILES OF SOIL.
6. DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AS REQUIRED.
7. TEMPORARY DEWATERING AND/OR SILTATION BASINS SHALL BE INSTALLED AS NECESSARY DURING SITE CONSTRUCTION. ALL DEWATERING DISCHARGE AND RUNOFF SHALL BE DIRECTED TO THE BASIN. CONSTRUCTION WASTEWATERS SHALL NOT BE DIRECTLY DISCHARGED TO STORM DRAINAGE OR THE ROAD.

EROSION & SEDIMENT CONTROL NOTES:

1. CONSTRUCTION IS ANTICIPATED TO COMMENCE IN THE SUMMER OF 2020 AND BE COMPLETED IN 2021, WEATHER PERMITTING.
2. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE TOWN OF NEWINGTON PRIOR TO CONSTRUCTION.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN OF NEWINGTON REGULATIONS.
4. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR THE TOWN.
5. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
6. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR THE TOWN.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION AND SEDIMENTATION CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER OR TOWN.
8. ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPECIFICATION IN CTDOT 816.
9. AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
10. THE FOLLOWING DATES FOR SEEDING SHALL BE USED: SPRING: APRIL 15 TO JUNE 15, FALL: AUGUST 15 TO SEPTEMBER 15
11. GRASS SEED MIXTURES SHALL BE APPLIED AT A RATE NO LESS THAN 100LBS PER ACRE OR AS RECOMMENDED BY MANUFACTURER.
12. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS APPLIED AT A RATE OF 100 LBS. PER ACRE.

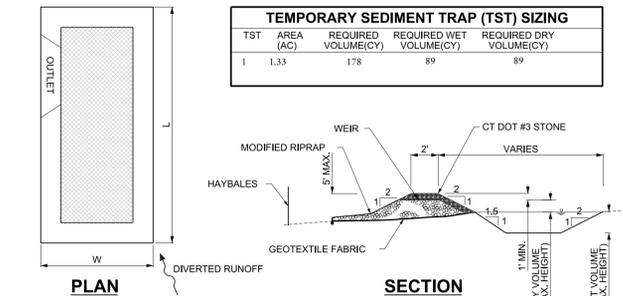
INSPECTION AND MAINTENANCE

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF SOIL EROSION & SEDIMENTATION CONTROLS. THE RESPONSIBLE PARTY (SEQUENCE OF CONSTRUCTION 1) SHALL IMPLEMENT THE FOLLOWING MEASURES THROUGHOUT THE CONSTRUCTION PERIOD UNTIL THE SITE IS STABILIZED.

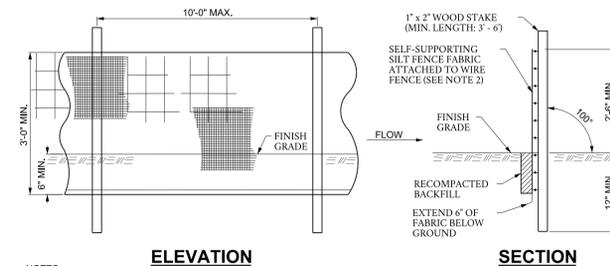
1. PRIOR TO A MAJOR STORM IN WHICH THE NOAA ISSUES WARNINGS OF FLOODING, SEVERE WEATHER CONDITIONS OR EFFECTS, ALL E&S CONTROLS SHALL BE INSPECTED, MAINTAINED, REPAIRED AND/OR CLEANED TO ENSURE THEY ARE IN PROPER WORKING ORDER.
2. ALL E&S CONTROLS SHALL BE INSPECTED, REPAIRED, AND CLEANED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES
3. ALL STORMWATER STRUCTURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES AND CLEANED AS FOLLOWS:
 - A. CATCH BASINS - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH 1/2 DEPTH OF SUMP
 - B. SWALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH 1/2 DEPTH
 - C. STORMWATER TREATMENT STRUCTURE - PER MANUFACTURER'S RECOMMENDATIONS
3. THE FOLLOWING ROUTINE INSPECTION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED:
 - A. MAIN STREET AND HARTFORD AVENUE SHALL BE INSPECTED AND TRACKED MATERIALS SWEEPED DAILY OR AS REQUIRED.
 - B. TEMPORARY CONTROLS, INCLUDING ANTI-TRACKING APRON, SILT FENCE, SILT SACKS, HAY BALES SHALL BE INSPECTED WEEKLY AND CLEANED AS FOLLOWS:
 - I. ANTI-TRACKING APRON - REPLENISH OR REPLACE STONE WHEN AS NECESSARY TO ENSURE SUFFICIENT CAPTURE OF SEDIMENTS WITHIN VOIDS
 - II. SILT FENCE/HAY BALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH 1/2 THE HEIGHT (MAX.)
 - III. SILT SACKS - CLEAN PER MANUFACTURER'S RECOMMENDATIONS
4. ALL STORMWATER STRUCTURES SHALL BE CLEANED AFTER REMOVAL OF E&S CONTROLS.

MAINTENANCE:

1. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER.
2. DEWATER, REMOVE SEDIMENTS AND RESTORE BASIN TO ORIGINAL DIMENSIONS WHEN SEDIMENTS ACCUMULATED TO 1/2 WET STORAGE VOLUME.
3. THE TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.
4. ALL PROPOSED SEDIMENT TRAPS SHALL BE CONSTRUCTED ACCORDING TO THE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

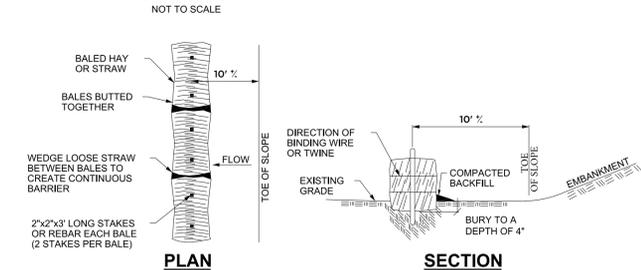


TEMPORARY SEDIMENT TRAP (TST) SIZING			
TST AREA (AC)	REQUIRED VOLUME(CY)	REQUIRED WET VOLUME(CY)	REQUIRED DRY VOLUME(CY)
1	1.33	178	89

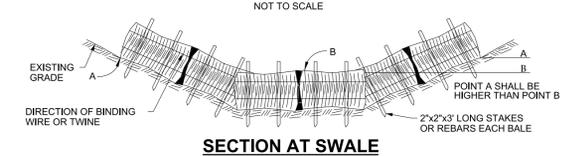


- NOTES:
1. INSTALL SILT FENCE & WOOD STAKES AS RECOMMENDED BY MANUFACTURER.
 2. SILT FENCE SUBJECT TO HEAVY LOADS SHALL BE REINFORCED WITH FARM FENCING & STEEL POSTS (0.5 # STEEL, L.F.). THE MINIMUM POST LENGTH SHALL BE 5'-0".
 3. SILT FENCE FABRIC SHALL BE A PERVIOUS SHEET OF WOVEN PROPYLENE, NYLON, POLYESTER OR POLYETHYLENE FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.

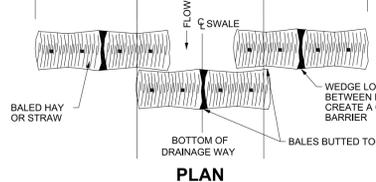
SILT FENCE



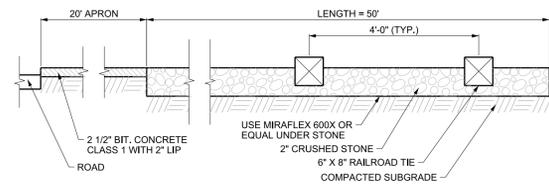
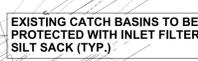
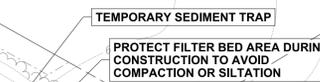
HAY BALES AT TOE OF SLOPE



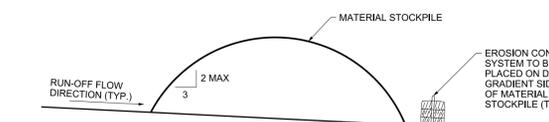
SECTION AT SWALE



HAY BALES AT SWALE

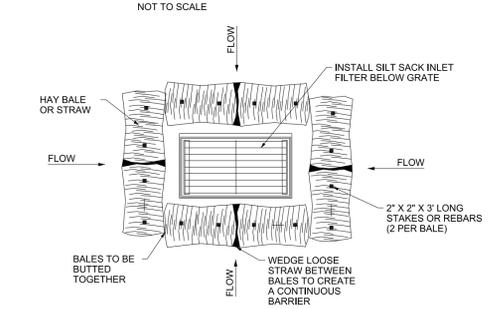


ANTI-TRACKING PAD DETAIL

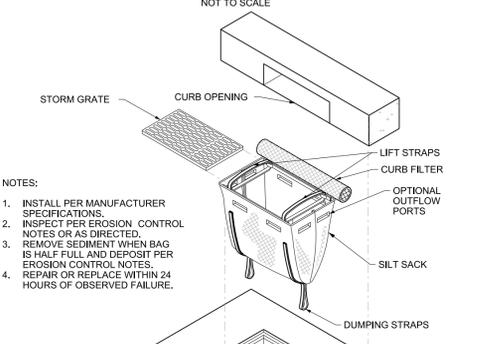


SOIL STOCKPILE DETAIL

TEMPORARY SEDIMENT TRAP



HAY BALES AROUND CATCH BASIN



INLET SEDIMENT CONTROL DEVICE

- NOTES:
1. INSTALL PER MANUFACTURER SPECIFICATIONS.
 2. INSPECT PER EROSION CONTROL NOTES OR AS DIRECTED.
 3. REMOVE SEDIMENT WHEN BAG IS HALF FULL AND DEPOSIT PER EROSION CONTROL NOTES.
 4. REPAIR OR REPLACE WITHIN 24 HOURS OF OBSERVED FAILURE.

SCALE: 1" = 20'

PROJECT NUMBER:
00082 - 00001

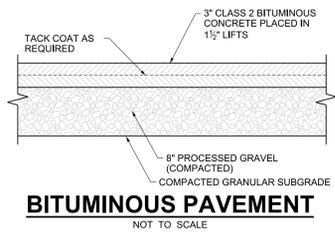
CONTACT INFORMATION
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PROFESSIONAL SEAL

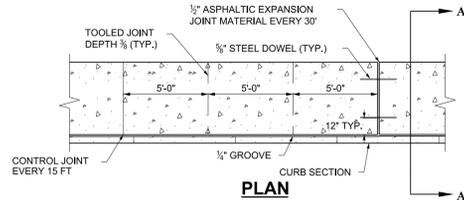
**GAS STATION & CONVENIENCE STORE
 SITE DEVELOPMENT PLANS**
 PREPARED FOR
 DIYALA, LLC, APPLICANT
EROSION & SEDIMENTATION CONTROL PLAN

REVISION SUMMARY	
DATE	DESCRIPTION

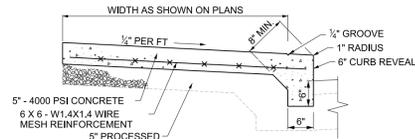
SHEET
5 OF 7
DATE
3/20/20
REVISED



BITUMINOUS PAVEMENT
NOT TO SCALE

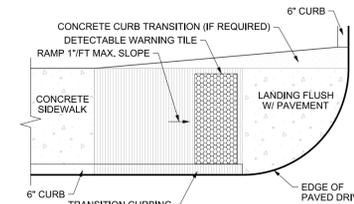


PLAN

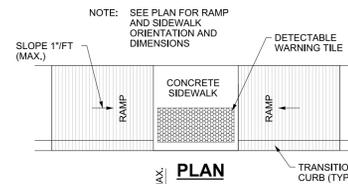


SECTION A-A

CONCRETE SIDEWALK AND CURB MONOLITHIC
NOT TO SCALE



SIDEWALK RAMP
NOT TO SCALE

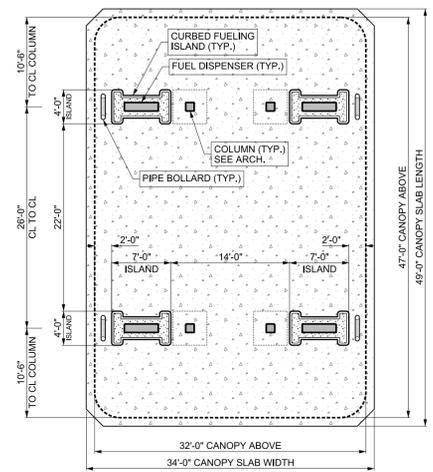


PLAN



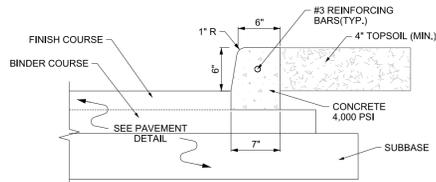
ELEVATION

SIDEWALK RAMP
NOT TO SCALE

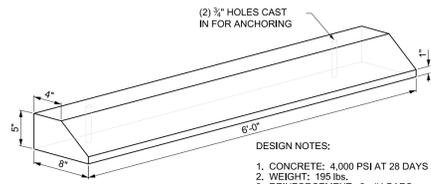


- NOTES:
1. GENERAL LAYOUT SHOWN FOR LOCAL PERMITTING ONLY.
2. FINAL DETAILS TO BE PROVIDED IN CONSTRUCTION DOCUMENTS.
3. SEE ARCH. PLANS FOR CANOPY SIGNAGE AND DIMENSIONS/HEIGHT

SUNOCO CANOPY LAYOUT
NOT TO SCALE

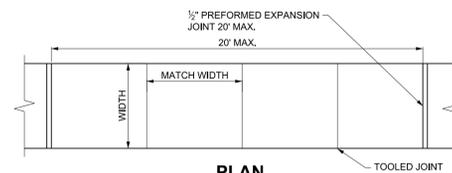


EXTRUDED CONCRETE LIP CURB
NOT TO SCALE

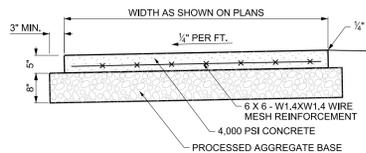


CONCRETE WHEEL STOP
NOT TO SCALE

- DESIGN NOTES:
1. CONCRETE: 4,000 PSI AT 28 DAYS
2. WEIGHT: 195 lbs.
3. REINFORCEMENT: 2 - #4 BARS
4. (2) 1/2\"/>

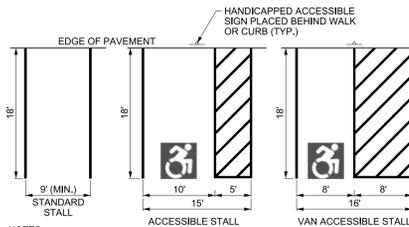


PLAN



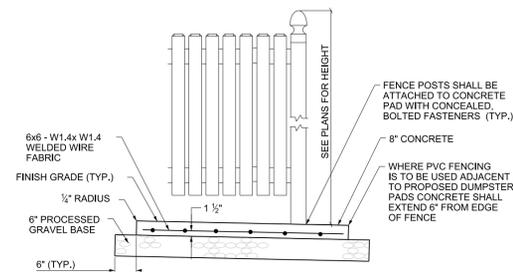
PROFILE

CONCRETE SIDEWALK
NOT TO SCALE



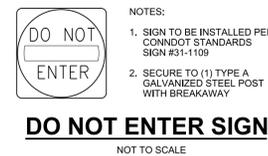
- NOTES:
1. ALL STRIPING TO BE 4\"/>

PARKING STALL DETAILS
NOT TO SCALE



- NOTES:
1. WHERE PVC FENCING IS TO BE USED ADJACENT TO PROPOSED DUMPSTER PAD THE DUMPSTER SHALL NOT BE HIGHER THAN THE FENCE.
2. PROPOSED GATES AT DUMPSTER PADS SHALL BE PVC. DOUBLE OUTSWING AND SHALL BE KEPT CLOSED AT ALL TIMES EXCEPT DURING ACCESS TO DUMPSTER.

DUMPSTER PAD & PVC FENCE
NOT TO SCALE



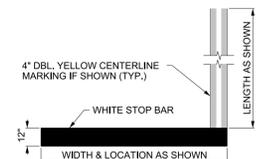
DO NOT ENTER SIGN
NOT TO SCALE

- NOTES:
1. SIGN TO BE INSTALLED PER CONDDOT STANDARDS SIGN #31-1109
2. SECURE TO (1) TYPE A GALVANIZED STEEL POST WITH BREAKAWAY



STOP SIGN
NOT TO SCALE

- NOTES:
1. 30\"/>



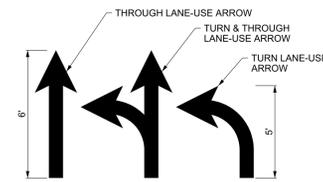
STOP BAR
NOT TO SCALE



HANDICAPPED PARKING
NOT TO SCALE

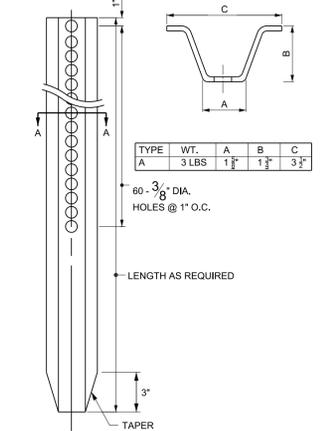
- BACKGROUND:
BLUE, REFLECTORIZED
LEGEND:
SILVER, REFLECTORIZED

- NOTES:
1. "VAN ACCESSIBLE" SIGN ONLY INSTALLED AT VAN ACCESSIBLE DESIGNATED PARKING STALL(S).



- NOTES:
1. LANE-USE ARROW MARKINGS SHALL BE WHITE
2. TURN ARROW DIRECTIONS SHALL BE PER THE PLAN

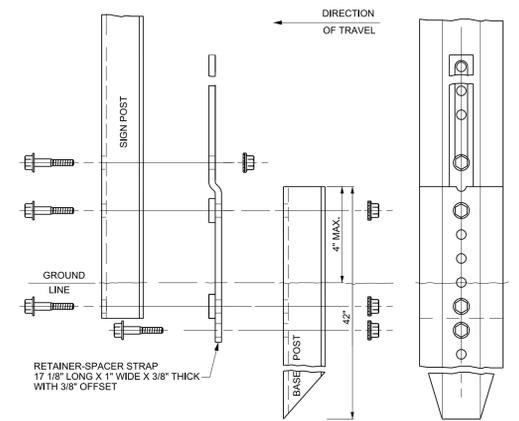
TRAFFIC ARROWS
NOT TO SCALE



TYPICAL METAL SIGN POST
NOT TO SCALE

TYPE	WT.	A	B	C
A	3 LBS	1 1/2"	1 3/4"	3 1/2"

60 - 3/8\"/>



- BOLTS - 5/16\"/>

TYPICAL BREAKAWAY INSTALLATION
NOT TO SCALE



PROJECT NUMBER:
00082 - 00001



CONTACT INFORMATION
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Web: www.yanticriverconsultants.com

PROFESSIONAL SEAL

**GAS STATION & CONVENIENCE STORE
SITE DEVELOPMENT PLANS**

PREPARED FOR
DIYALA, LLC
DETAILS

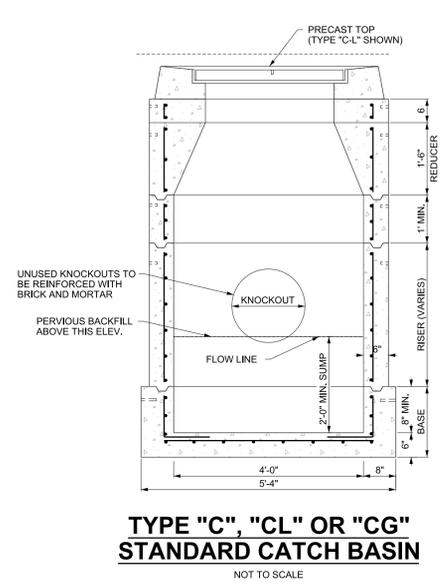
4 HARTFORD AVENUE

NEWINGTON, CT

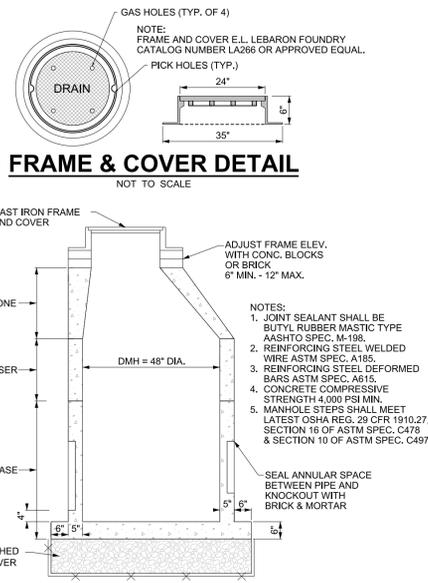
REVISION SUMMARY

DATE	DESCRIPTION

SHEET
6 OF 7
DATE
3/20/20
REVISED

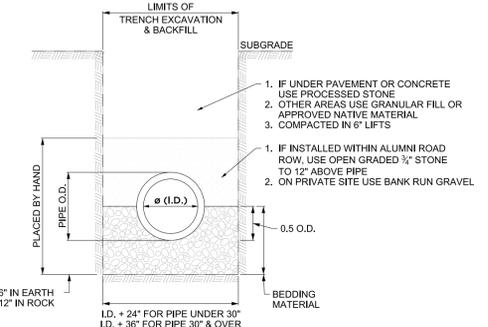


TYPE "C", "CL" OR "CG" STANDARD CATCH BASIN
NOT TO SCALE

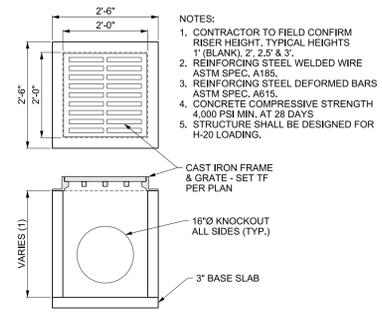


FRAME & COVER DETAIL
NOT TO SCALE

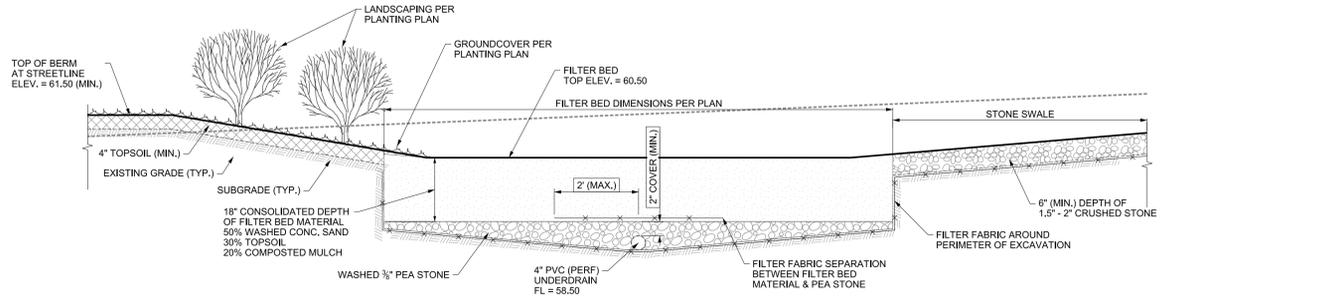
PRECAST STORM DRAIN MANHOLE
NOT TO SCALE



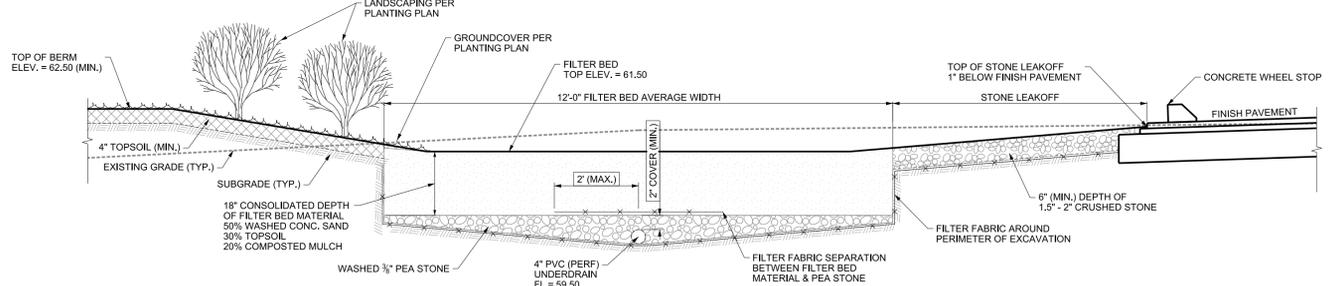
TRENCHING & BACKFILLING
NOT TO SCALE



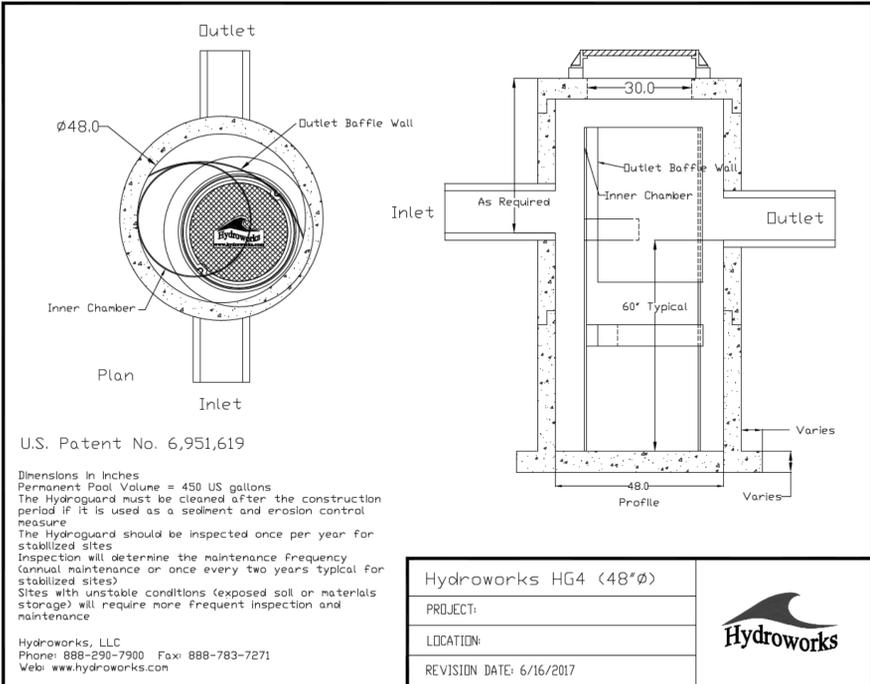
YARD DRAIN
NOT TO SCALE



FILTER BED #200 SECTION
NOT TO SCALE



FILTER BED #100 SECTION
NOT TO SCALE

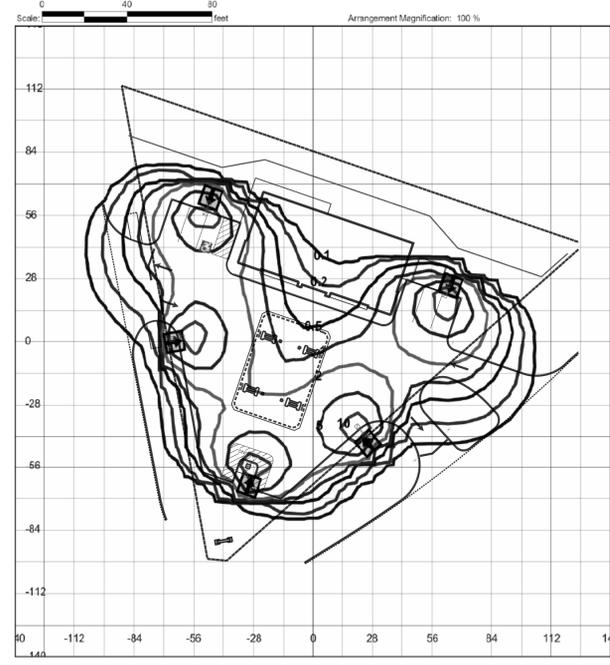


HYDROWORKS HG4 TREATMENT STRUCTURE
SCALE: NOT TO SCALE

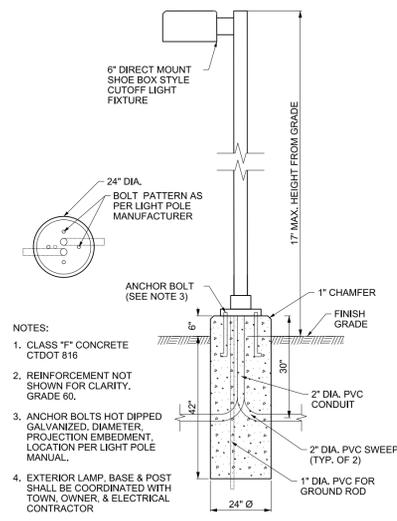


Date: 31 Mar 2020
Title: Gas Station & Convenience Store
Desc: 4 Hartford Avenue, Newington, CT
Lighting Layout for Local Application Submission
For: Diyala, LLC
By: Yantic River Consultants, LLC

Luminaire
IES Filename: rab02138mod40.ies
Description: ALED4T78N - RWLED4T78N - RWLED4T78FN - WPLED4T78N (TYPE IV)
CAST IRON METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1
Light Loss Factor: 1.00
Number of Lamps: 6
Lamp Lumens: -1 lms
Luminaire Watts: 78 W



SITE AREA LIGHTING PLAN
SCALE: 1" = 40'



LIGHT POLE & BASE
NOT TO SCALE

SCALE: AS SHOWN
PROJECT NUMBER:
00082 - 00001



CONTACT INFORMATION
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PROFESSIONAL SEAL

GAS STATION & CONVENIENCE STORE SITE DEVELOPMENT PLANS
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REVISION SUMMARY	
DATE	DESCRIPTION

SHEET
6 OF 7
DATE
3/20/20
REVISED