

TOWN OF NEWINGTON
ZONING BOARD OF APPEALS
Special Meeting

Wednesday, April 8, 2020 - 6:00 P.M.

Town Hall - Conference Room L101
131 Cedar Street, Newington, Ct 06111

AGENDA

*Because of limitations on gatherings due to COVID-19, the public is directed to stay home and watch this meeting on Cox 16 or Frontier 6050, or online at <http://www.nctv.org/live-channel-16>. During the "Public Participation" section of the meeting the public is invited to call in to **860-665-8736**.*

1. Roll Call

2. Public Hearings

- 2.I. A. PETITION # 00-20-01: SB Newington 433 LLC "Firestone Complete Auto Care Center" Is Requesting Four (4) Variances From Section 3.18.4, Section 6.1.2.B, And Section 6.11.5 Of The Zoning Regulations Related To The Proximity To A Residential Zone At 2897 Berlin Turnpike.

Documents:

ZBA STAFF REPORT - 2897 BTP.PDF
APPLICATION - 2897 BTP.PDF
APPLICANT COVER LETTER - 2897 BTP.PDF
APPLICANT NARRATIVE - 2897 BTP.PDF
AERIAL CONTEXT MAP - 2897 BTP.PDF
APPLICANT MATERIALS (PART 1) - 2897 BTP.PDF
APPLICANT MATERIALS (PART 2) - 2897 BTP.PDF
APPLICANT MATERIALS (PART 3) - 2897 BTP.PDF

3. Public Participation

4. Work Session

- 4.I. A. PETITION # 00-20-01: SB Newington 433 LLC "Firestone Complete Auto Care Center" Is Requesting Four (4) Variances From Section 3.18.4, Section 6.1.2.B, And Section 6.11.5 Of The Zoning Regulations Related To The Proximity To A Residential Zone At 2897 Berlin Turnpike.

5. Minutes Of Previous Meeting

Documents:

[MEETING MINUTES ZBA \(NOVEMBER 7, 2019\).PDF](#)

6. Communications And Reports

7. Adjournment



Keith Chapman
Town Manager

TOWN OF NEWINGTON

131 Cedar Street Newington, Connecticut 06111

Zoning Board of Appeals

To: Zoning Board of Appeals
From: Andrew Armstrong, ZEO
Date: April 8, 2020
Subject: **Petition #00-20-01**: SB Newington 433 LLC, “Firestone Complete Auto Care Center” is requesting four (4) Variances from Section 3.18.4, Section 6.1.2.B, and Section 6.11.5 of the Zoning Regulations related to the proximity to a residential zone at 2897 Berlin Turnpike.

Description of Petition #00-20-01:

The applicant is requesting four (4) variances in connection with the existing Firestone Complete Auto Care Center at 2897 Berlin Turnpike. The property is zoned Planned Development (PD).

These variances are needed because even though the Firestone store received all the necessary approvals in 2012, certain automotive business owners and nearby homeowners challenged those approvals in court. Also, the Town Plan and Zoning Commission subsequently changed the zone of the adjacent property at 2116 Main Street from PD to R-20. In a series of decisions, the court ruled that the TPZ automotive regulations were invalid and therefore the site plan and special permit approvals were invalid. The owners of the Firestone property were ordered to either close, or obtain re-approval from the Town.

The applicant has stated that their legal hardship is their inability to conform to the court-ordered changes to the Zoning Regulations, and TPZ’s rezoning of the property at 2116 Main Street.

Staff Comments:

The applicant is seeking the following four (4) variances:

- 1) **Section 3.18.4** – A request to allow parking 5 feet from a residential zone where 25 feet is required.
- 2) **Section 3.18.4** – A request to allow a business structure 59 feet from a residential zone where 100 feet is required.
- 3) **Section 6.1.2.B** – A request to allow off-street loading space 49 feet from a residential zone where 50 feet is required.

Phone: (860) 665-8575 Fax: (860) 665-8577
townplanner@newingtonct.gov
www.newingtonct.gov

- 4) **Section 6.11.5** – A request to allow a motor vehicle use zero (0) feet from a residential zone; where the properties abut each other 100 feet is required.

No change to the site is proposed. As depicted on the site plan and zoning summary chart, all other bulk requirements in the PD zone are satisfied.

The Firestone store has been in existence and functioning as an auto repair business since 2015 exactly as it is today. The applicant has previously undertaken noise mitigation measures that will protect the residential properties on Main Street.

This petition is simply to allow the re-approval of the special permit and site plan that were approved by TPZ in 2012, and to resolve the non-conformities that were created by TPZ's unilateral rezoning of the adjacent property at 2116 Main Street.

I have no objection to this request.

cc:
SB Newington 433 LLC
file

PETITION NO. _____

DATE _____

**USE THIS FORM FOR REQUESTING A VARIANCE OF A
ZONING REGULATION STANDARD**

**ZONING BOARD OF APPEALS
TOWN OF NEWINGTON
131 Cedar Street
Newington, Connecticut 06111**

ZONE P-D FEE \$320 CHECK # _____

APPLICANT'S NAME SB Newington 433 LLC

ADDRESS c/o Amy E. Souchuns, Esq. PHONE 203-877-8000
Hurwitz Sagarin Slossberg & Knuff LLC
147 N. Broad St. Milford CT 06460

OWNER'S NAME same as above

ADDRESS _____ PHONE _____

Address of affected premises: 2897 Berlin Turnpike
(If business, state name)

Type of Variance: Variance of Newington Zoning Regulation found in Table 4a

Variance relates to: Use () Area () Height ()
Build Line Sign () Home Occupation ()
Existing Building

On what portion of the Zoning Ordinance is the Petition based - Provide Section Number:
Sections 3.18.4 (parking location & distance to residential zone), 6.1.2.B (loading space location) & 6.11.5 (distance to residential zone)

Specify details of Variance and describe nature of hardship:
See attached Statement of Appeal

Has previous Variance been filed? If yes, provide date and nature of Variance
No

Owners' Signature 

Notice: See attached sheet for required documents

HURWITZ SAGARIN
SLOSSBERG KNUFF LLC

Amy E. Souchuns, Esq.
Asouchuns@hssklaw.com

HS
SK

LAW OFFICES
147 North Broad Street
Milford, CT 06460
T: 203.877.8000
F: 203.878.9800
hssklaw.com

March 20, 2020

Mr. Andrew Armstrong
Zoning Enforcement Officer
Town of Newington
131 Cedar Street
Newington, CT 06111

Re: Variance Application
SB Newington 433, LLC, Owner
Firestone Complete Care Auto Center, 2897 Berlin Turnpike

Dear Mr. Armstrong:

On behalf of SB Newington 433, LLC, enclosed please find application materials related to requested variances associated with the Firestone Complete Care Auto Center, 2897 Berlin Turnpike, Newington.

The application materials include 10 copies of each of the following:

- Application Form;
- Statement of Appeal;
- Site Plans and Survey dated November 26, 2012 (revised to February 20, 2020), prepared by VHB;
- Application fee of \$ 320.00.

If you need anything further, please do not hesitate to contact me.

Sincerely,



Amy E. Souchuns

Enclosures

STATEMENT OF APPEAL

SB NEWINGTON 433, LLC

March 20, 2020

SB Newington 433, LLC (“SBN”) seeks four variances in connection with an existing auto-related use on property known as 2897 Berlin Turnpike (“Property”). The Property, approximately one acre and zoned Planned Development (P-D), is currently improved with a Firestone Complete Auto Care Center (“CACC”).

Background:

From late 2012 through early 2013, SBN’s predecessor in interest obtained land use approvals from the Conservation Commission and the Town Plan and Zoning Commission (“Commission”) for the construction of the CACC (“2013 Approval”). Approximately one month after the 2013 Approval, the adjacent property at 2116 Main Street was rezoned to R-20 (Residential-20), creating a non-conformity. While those applications were pending, certain automotive business owners appealed amendments to the zoning regulations governing automotive uses (“2012 Appeal”). Additionally, during the pendency of the CACC construction, those owners and a group of neighboring property owners initiated a nuisance and private zoning enforcement lawsuit against SBN, the Commission, and the Town of Newington (“Bielitz Litigation”) in late 2014.

In the Bielitz Litigation, the court ruled that the 2013 Approval was invalid because of the outcome of the 2012 Appeal. It ordered that the CACC be shut down pending the receipt of new land use approvals. The requested variances, along with simultaneous special permit, site plan and location approval applications, are intended to legalize the CACC in accordance with the Court’s order and in resolution of the Bielitz Litigation.

Current Application:

The site and building itself are unchanged from the plans set forth in the 2013 Approval. As a result of the re-zoning of 2116 Main Street, the CACC is now directly adjacent to a residential zone, with the property boundary serving as the zone boundary between the P-D and R-20 zones.

SBN seeks the following variances arising from the CACC’s and the Property’s proximity to a residential zone. These include the following:

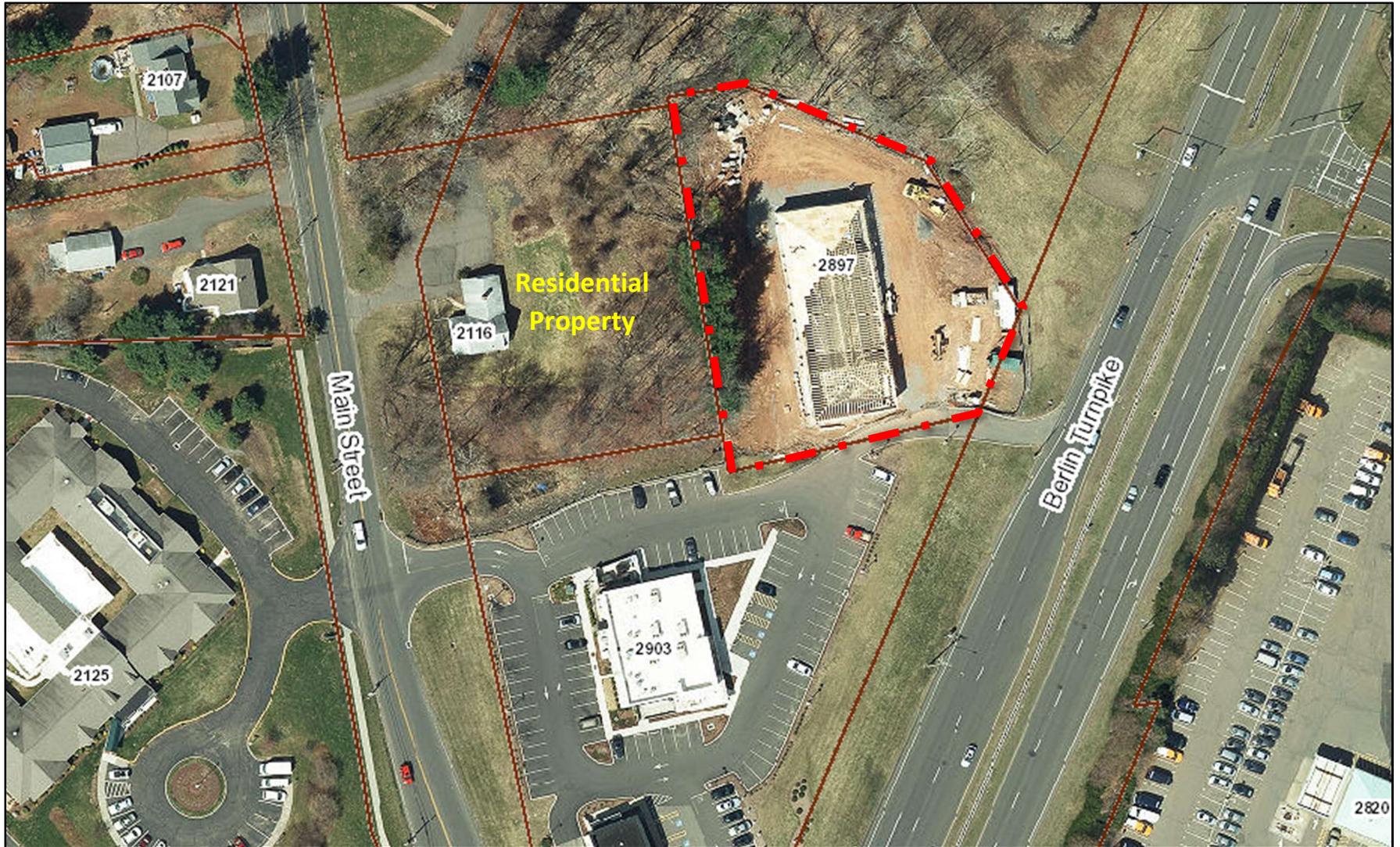
- § 3.18.4: mandating that parking be no less than 25 feet from a residential zone boundary; the existing parking spaces adjacent to the residential zone are located 5 feet from the boundary per § 6.1.1.H (variance to allow 5 feet where 25 feet required)
- § 3.18.4: mandating that no business structure be located closer than 100 feet from the residential zone boundary; the CACC building is 59 feet from the property line (variance to allow 59 feet where 100 feet required)

- § 6.1.2.B: requiring that any off-street loading space be no closer than 50 feet from any lot in any residential zone; the existing loading space is 49 feet from the property line (variance to allow 49 feet where 50 feet required)
- § 6.11.5: prohibiting any portion of a motor vehicle use within 100 feet of a residential zone; the Property directly abuts the residential zone (variance to allow 0 feet where 100 feet required)

Each of these variances seeks to legalize the existing CACC operations; no expansion or modification of the site is proposed as part of these applications. As depicted on the site plan and zoning summary chart, all other bulk requirements governing the P-D zone are satisfied.

The legal hardship with respect to this Property and the CACC is the court-ordered changes to the Zoning Regulations in the 2012 Appeal, which in turn served as the basis of the invalidation of the 2013 Approvals, combined with the rezoning of the adjacent Main Street property. The rezoning of the adjacent Main Street property would have rendered the Property legally non-conforming even if the 2013 Approvals were deemed valid. The confluence of the subsequently amended Zoning Regulations, the outcomes of the 2012 Appeal and Bielitz Litigation, and the rezoning of 2116 Main Street create the hardship, one that is unique to this Property and not self-created. The requested variances are the minimum necessary to achieve productive use of the Property.

Aerial Context Map – 2897 Berlin Turnpike



Note: Firestone Complete Auto Care: 2897 Berlin Turnpike (Outlined in Red)
R-20 Zoned Property: 2116 Main Street (Text in Yellow)

Site Plans

Issued for: **Local Approvals**

Date Issued: November 26, 2012

Latest Issue: February 18, 2020

Sheet Index		
Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	5/8/2013
C-3	Layout and Materials Plan	2/18/2020
C-4	Grading and Drainage Plan	2/18/2020
C-5	Utility Plan	2/18/2020
C-6	Soil Erosion and Sediment Control Plan	2/18/2020
C-7	Site Detail 1	5/8/2013
C-8	Site Detail 2	5/8/2013
C-9	Site Detail 3	5/8/2013
C-10	Site Detail 4	5/8/2013
C-11	Site Detail 5	5/8/2013

Reference Drawings

Number	Drawing Title	Latest Issue
SLP-1	Site Location Plan	2/18/2020
FT-1	Fire Truck Turning Plan	2/18/2020
L-1	Planting Plan	2/18/2020
L-2	Planting Details	5/8/2013
EP-1	Electrical Photometric Plan	2/18/2020
Sv-1	Property Survey	10/5/2012
Sv-2	Topographic Survey	10/5/2012
Ea-1	Easement Plan for Access/Egress & Utilities	5/8/2013
PA4	Exterior Elevations & Details	9/20/2012
AB-1	Property Survey & Topographic Survey	2/18/2020

Proposed Firestone Complete Auto Care

2903 Berlin Turnpike
Newington, Connecticut



Site Location Map ↑ 0 100 200 Feet

Property Owners

Owner/Applicant:
SB Newington 433, LLC
3000 Internet Blvd., Suite 570
Frisco, Texas 75034
Phone (214) 872-4091 - Fax (214) 872-4001

Parcel ID #: **A1000010**
Map: **23** Block: **142** Lot: **00C**

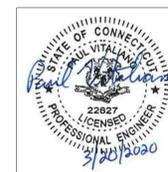
Architectural Consultant:
CASCO Corporation
10877 Watson Road
St. Louis, MO 63127
Phone: (314) 821-1100

Geotechnical Consultant
FES Group
772 30th Avenue North
St. Petersburg, Florida 33704
Ph 727.576.2000 · Fax 727.576.2022

Lighting Consultant:
Engineering Advantage, Inc.
2 Park Street
Boston, MA 02122
Phone: (617) 288-3969



Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
54 Tuttle Place
Middletown, Connecticut 06457
860.632.1500 • FAX 860.632.7879



APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____



Vanasse Hangen Brustlin, Inc.



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FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840



ZONE APPROVAL (BY/DATE):
VP: _____
CONTR: _____
RM: _____
CM: _____

PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000

AOR PROJECT NUMBER: xxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13

SHEET TITLE:
**LEGEND AND
GENERAL NOTES**

SHEET NUMBER:
C-1

Notes:

General

- 1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 72 HOURS BEFORE EXCAVATING. ALL UTILITY LOCATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS, WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
A. WATER PIPES SHALL BE DUCTILE IRON PIPE (DIP). 2-INCH DIAMETER OR LESS SHALL BE TYPE K COPPER.
B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR MEETING THE REQUIREMENTS OF ASTM 3034, RATED SDR 35.
D. ROOF DRAIN PIPES SHALL BE POLYVINYL CHLORIDE (PVC) MEETING THE REQUIREMENTS OF ASTM 3034, RATED SDR 35.
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STARWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
7. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
8. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONDITIONS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC., DURING NOVEMBER 2007 AND UPDATED DURING SEPTEMBER 2010.
A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY DEAN GUSTAFSON, A CONNECTICUT REGISTERED PROFESSIONAL SOIL SCIENTIST WITH APT ON MAY 10, 2012.
B. FLAGS MARKING THE WETLANDS WERE LOCATED BY VHB, INC. BY FIELD SURVEY.
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM REPORT OF GEOTECHNICAL EXPLORATIONS PREPARED BY FES GROUP, L.L.C.; DATED SEPTEMBER 17, 2010.

Abbreviations

General

Table with 2 columns: Abbreviation and Description. Includes ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), ADJ (ADJUST), APPROX (APPROXIMATE), BIT (BITUMINOUS), BS (BOTTOM OF SLOPE), BWLL (BROKEN WHITE LANE LINE), CONC (CONCRETE), DYCL (DOUBLE YELLOW CENTER LINE), EL (ELEVATION), ELEV (ELEVATION), EXIST (EXISTING), FDN (FOUNDATION), FFE (FIRST FLOOR ELEVATION), GRAN (GRANITE), GTD (GRADE TO DRAIN), LA (LANDSCAPE AREA), LOD (LIMIT OF DISTURBANCE), MAX (MAXIMUM), MIN (MINIMUM), NIC (NOT IN CONTRACT), NTS (NOT TO SCALE), PERF (PERFORATED), PROP (PROPOSED), REM (REMOVE), RET (RETAIN), R&D (REMOVE AND DISPOSE), R&R (REMOVE AND RESET), SWEL (SOLID WHITE EDGE LINE), SWLL (SOLID WHITE LANE LINE), TS (TOP OF SLOPE), TYP (TYPICAL), CB (CATCH BASIN), CMP (CORRUGATED METAL PIPE), CO (CLEANOUT), DCB (DOUBLE CATCH BASIN), DMH (DRAIN MANHOLE), CIP (CAST IRON PIPE), COND (CONDUIT), DIP (DUCTILE IRON PIPE), FES (FLARED END SECTION), FM (FORCE MAIN), F&G (FRAME AND GRATE), F&C (FRAME AND COVER), GI (GUTTER INLET), GT (GREASE TRAP), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HH (HANDHOLE), HW (HEADWALL), HYD (HYDRANT), INV (INVERT ELEVATION), I= (INVERT ELEVATION), LP (LIGHT POLE), MES (METAL END SECTION), OCS (OUTLET CONTROL STRUCTURE), OWS (OIL/WATER SEPERATOR), PWW (PAVED WATER WAY), PVC (POLYVINYLCHLORIDE PIPE), RCP (REINFORCED CONCRETE PIPE), RD (ROOF DRAIN), R= (RIM ELEVATION), SMH (SEWER MANHOLE), TSV (TAPPING SLEEVE, VALVE AND BOX), UG (UNDERGROUND), UP (UTILITY POLE), WQU (WATER QUALITY UNIT)

Utility

Table with 2 columns: Abbreviation and Description. Includes CB (CATCH BASIN), CMP (CORRUGATED METAL PIPE), CO (CLEANOUT), DCB (DOUBLE CATCH BASIN), DMH (DRAIN MANHOLE), CIP (CAST IRON PIPE), COND (CONDUIT), DIP (DUCTILE IRON PIPE), FES (FLARED END SECTION), FM (FORCE MAIN), F&G (FRAME AND GRATE), F&C (FRAME AND COVER), GI (GUTTER INLET), GT (GREASE TRAP), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HH (HANDHOLE), HW (HEADWALL), HYD (HYDRANT), INV (INVERT ELEVATION), I= (INVERT ELEVATION), LP (LIGHT POLE), MES (METAL END SECTION), OCS (OUTLET CONTROL STRUCTURE), OWS (OIL/WATER SEPERATOR), PWW (PAVED WATER WAY), PVC (POLYVINYLCHLORIDE PIPE), RCP (REINFORCED CONCRETE PIPE), RD (ROOF DRAIN), R= (RIM ELEVATION), SMH (SEWER MANHOLE), TSV (TAPPING SLEEVE, VALVE AND BOX), UG (UNDERGROUND), UP (UTILITY POLE), WQU (WATER QUALITY UNIT)

Legend

Table with 4 columns: Exist., Prop., Exist., Prop. and Description. Includes PROPERTY LINE, PROJECT LIMIT LINE, RIGHT-OF-WAY/PROPERTY LINE, EASEMENT, BUILDING SETBACK, PARKING SETBACK, BASELINE, CONSTRUCTION LAYOUT, ZONING LINE, TOWN LINE, LIMIT OF DISTURBANCE, WETLAND LINE WITH FLAG, FLOODPLAIN, BORDERING LAND SUBJECT TO FLOODING, WETLAND BUFFER ZONE, NO DISTURB ZONE, 200' RIVERFRONT AREA, GRAVEL ROAD, EDGE OF PAVEMENT, BITUMINOUS BERM, BITUMINOUS CURB, CONCRETE CURB, CURB AND GUTTER, EXTRUDED CONCRETE CURB, MONOLITHIC CONCRETE CURB, PRECAST CONC. CURB, SLOPED GRAN. EDGING, VERT. GRAN. CURB, LIMIT OF CURB TYPE, SAWCUT, BUILDING, BUILDING ENTRANCE, LOADING DOCK, BOLLARD, DUMPSTER PAD, SIGN, DOUBLE SIGN, STEEL GUARDRAIL, WOOD GUARDRAIL, PATH, TREE LINE, WIRE FENCE, FENCE, STOCKADE FENCE, STONE WALL, RETAINING WALL, STREAM / POND / WATER COURSE, DETENTION BASIN, HAY BALES, SILT FENCE, STRAW WATTLE, MINOR CONTOUR, MAJOR CONTOUR, PARKING COUNT, COMPACT PARKING STALLS, DOUBLE YELLOW LINE, STOP LINE, CROSSWALK, ACCESSIBLE CURB RAMP, ACCESSIBLE PARKING, VAN-ACCESSIBLE PARKING

Matchline





Vanasse Hangen Brustlin, Inc.



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FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840



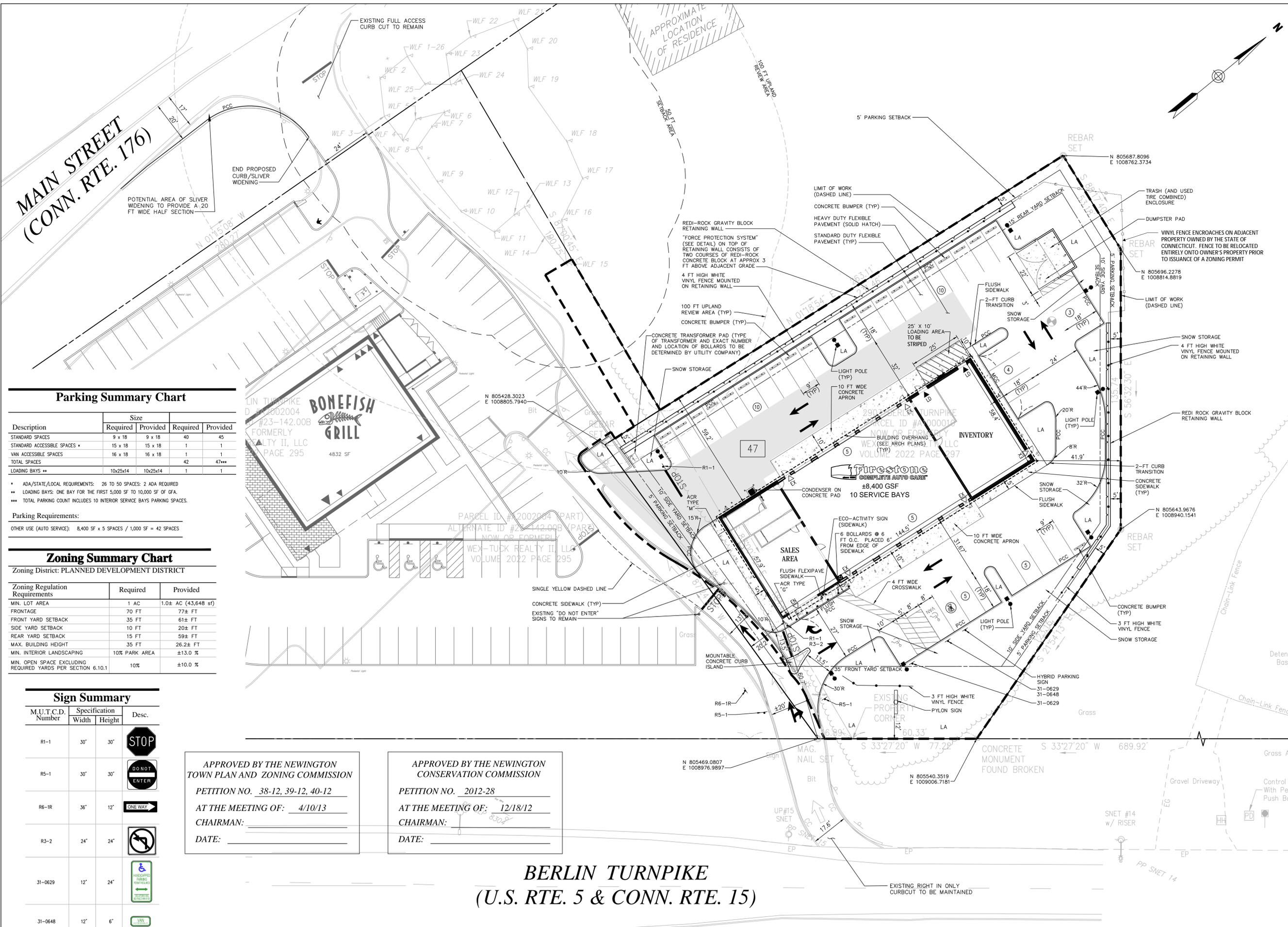
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VP: _____
CONTR: _____
RM: _____
CM: _____

PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000

AOR PROJECT NUMBER: xxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13
FENCE ADDED: DATE: 02-18-20

SHEET TITLE:
LAYOUT AND MATERIALS PLAN

SHEET NUMBER:
C-3



Parking Summary Chart

Description	Size		Required	Provided
	Required	Provided		
STANDARD SPACES	9 x 18	9 x 18	40	45
STANDARD ACCESSIBLE SPACES *	15 x 18	15 x 18	1	1
VAN ACCESSIBLE SPACES	16 x 18	16 x 18	1	1
TOTAL SPACES			42	47***
LOADING BAYS **	10x25x14	10x25x14	1	1

* ADA/STATE/LOCAL REQUIREMENTS: 26 TO 50 SPACES: 2 ADA REQUIRED
** LOADING BAYS: ONE BAY FOR THE FIRST 5,000 SF TO 10,000 SF OF GFA.
*** TOTAL PARKING COUNT INCLUDES 10 INTERIOR SERVICE BAYS PARKING SPACES.

Parking Requirements:
OTHER USE (AUTO SERVICE): 8,400 SF x 5 SPACES / 1,000 SF = 42 SPACES

Zoning Summary Chart

Zoning District: PLANNED DEVELOPMENT DISTRICT

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	1 AC	1.0± AC (43,648 sf)
FRONTAGE	70 FT	77± FT
FRONT YARD SETBACK	35 FT	61± FT
SIDE YARD SETBACK	10 FT	20± FT
REAR YARD SETBACK	15 FT	59± FT
MAX. BUILDING HEIGHT	35 FT	26.2± FT
MIN. INTERIOR LANDSCAPING	10% PARK AREA	±13.0 %
MIN. OPEN SPACE EXCLUDING REQUIRED YARDS PER SECTION 6.10.1	10%	±10.0 %

Sign Summary

M,U,T,C,D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	
R5-1	30"	30"	
R6-1R	36"	12"	
R3-2	24"	24"	
31-0629	12"	24"	
31-0648	12"	6"	

APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

**BERLIN TURNPIKE
(U.S. RTE. 5 & CONN. RTE. 15)**



* SEE SITE DETAILS FOR ECO-ACTIVITY SIGNS AND HYBRID PARKING SIGN



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2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
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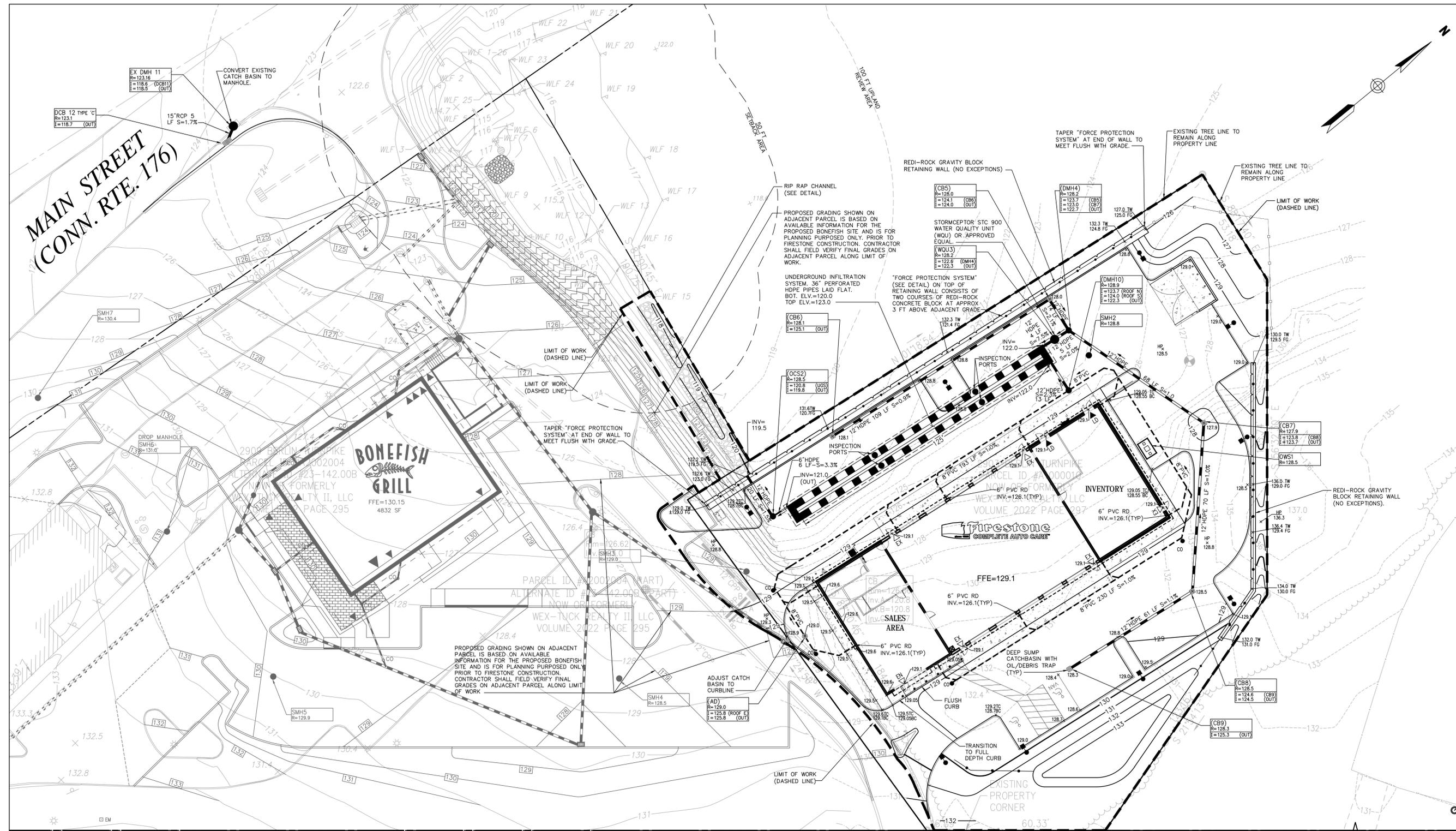


ZONE APPROVAL (BY/DATE):
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CONTR: _____
RM: _____
CM: _____

PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000
AOR PROJECT NUMBER: xxxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13
FENCE ADDED: DATE: 02-18-20

SHEET TITLE:
GRADING AND DRAINAGE PLAN

SHEET NUMBER:
C-4



**MAIN STREET
(CONN. RTE. 176)**

BONEFISH GRILL

**Firestone
COMPLETE AUTO CARE**

**BERLIN TURNPIKE
(U.S. RTE. 5 & CONN. RTE. 15)**

BENCHMARK
REBAR WITH RED CAP
DATUM=NAVD88
ELEVATION=132.91

APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 3.5.4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

NOTE:
MAINTAIN MAXIMUM 2% CROSS
SLOPE ALONG ACCESSIBLE ROUTE,
ACCESSIBLE PARKING SPACES, AND
ACCESSIBLE ACCESS AISLES (TYP)



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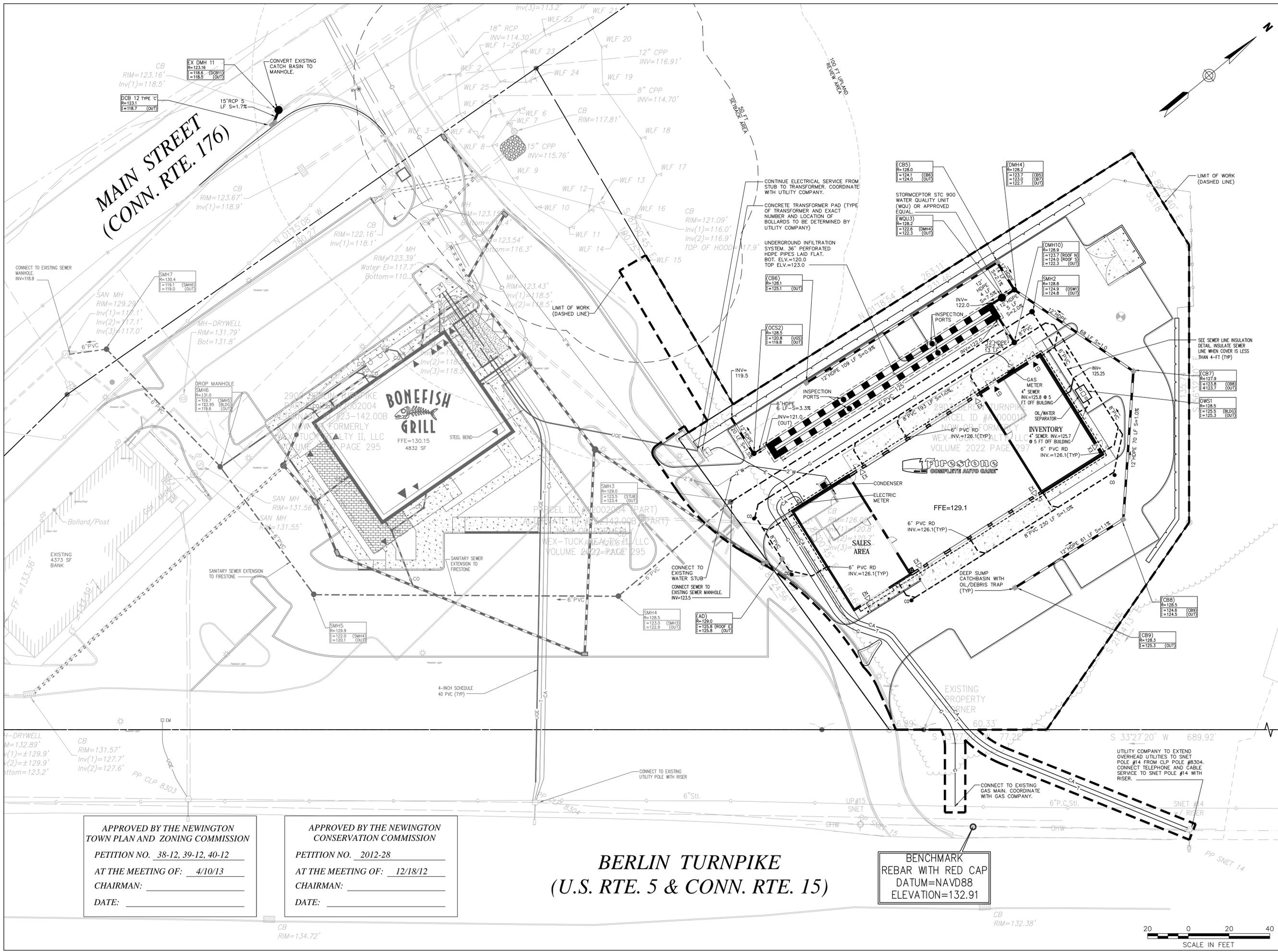
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2903 BERLIN TURNPIKE
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NEW CANAAN, CT 06840



ZONE APPROVAL (BY/DATE):
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PROPERTY NO.: 000000
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4 DIGIT NO.: 0000
AOR PROJECT NUMBER: xxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13
FENCE ADDED: DATE: 02-18-20

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-5



APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

BERLIN TURNPIKE (U.S. RTE. 5 & CONN. RTE. 15)

BENCHMARK
REBAR WITH RED CAP
DATUM=NAVD88
ELEVATION=132.91



Site S&E Narrative:

THE PROPOSED PROJECT CONSISTS OF CONSTRUCTING AN APPROXIMATELY 8,400 S.F. WITH ASSOCIATED PARKING, DRIVEWAYS AND UNDERGROUND UTILITIES. THE APPROXIMATELY 1.0 ACRE SITE WILL BE DEVELOPED IN A SINGLE PHASE PROJECT. APPROXIMATELY 1.0 ACRES WILL BE DISTURBED DURING CONSTRUCTION. TO CONTROL SEDIMENT EROSION DURING EARTH FILLING OPERATIONS, THE CONTRACTOR SHALL EMPLOY TECHNIQUES OUTLINED IN THE CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENT IS NOT TRANSPORTED OFF THE EARTHWORK IS PLANNED TO START MARCH 2013 AND BE COMPLETED SEPTEMBER 2013. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO THE DRAINAGE/STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION.

Temporary Erosion and Sedimentation Control Maintenance (throughout construction)

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
 THE SITE CONTRACTOR WILL INSPECT ALL SEDIMENT AND EROSION CONTROL STRUCTURES PERIODICALLY AND AFTER EACH RAINFALL EVENT. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.
 SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.
 DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.
 THE UNDERSIDE OF HAY BALES SHOULD BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.
 SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.
 INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF A RAINFALL EVENT TO DETERMINE THE CONDITIONS OF THE BASIN DURING CONSTRUCTION. CLEAN OUT SEDIMENT BASINS WHEN ACCUMULATION REACHES 12". SEDIMENT LEVELS SHALL BE MARKED WITHIN THE SEDIMENT STORAGE AREA BY STAKES. DO NOT ALLOW ACCUMULATED SEDIMENTS TO FLUSH INTO WETLAND AREAS.
 EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.
 MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

Construction Sequence

1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADS/HIGHWAYS AND THEIR DRAINAGE SYSTEM, NEIGHBORING PROPERTIES, AND REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL PROVIDE THE TOWN OF NEWINGTON WITH THE NAME OF CONTACT AND 24 HOUR CONTACT INFORMATION.
2. CONTRACTOR SHALL ADHERE TO CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
3. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
4. HOLD PRECONSTRUCTION MEETING. (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
5. NOTIFY THE TOWN OF NEWINGTON ZONING ENFORCEMENT OFFICER AND ENGINEERING DEPARTMENT, 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
6. INSTALL STABILIZED VEHICLE CONSTRUCTION EXIT.
7. PRIOR TO INSTALLING SURFACE STABILIZATION SUCH AS TEMPORARY DIVERSION SWALES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.
8. INSTALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE E&S PLAN FOR THE SITE INCLUDING SILT FENCE BARRIERS AND SILT SAC.
9. COMPLETE CLEARING AND GRUBBING.
10. ESTABLISH ROUGH GRADE ON THE SITE.
11. CONSTRUCT BUILDING AND UNDERGROUND UTILITIES. INSTALL SILT SAC SEDIMENT TRAPS IN ALL NEW CATCH BASINS.
12. INSTALL PAVING BASE & FIRST COURSE OF BITUMEN CONCRETE.
13. INSTALL LANDSCAPING & LOAM AND SEED ALL DISTURBED AREAS.
14. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
15. LOAM AND SEED ALL DISTURBED AREAS.
16. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
17. INSTALL FINAL COURSE OF PAVEMENT.

Erosion and Sedimentation Control Techniques

THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

SILT FENCING
 IN AREAS WHERE HIGH RUNOFF VELOCITIES OR HIGH SEDIMENT LOADS ARE EXPECTED, HAY BALE BARRIERS WILL BE BACKED UP WITH SILT FENCING. THIS SEMI-PERMEABLE BARRIER MADE OF A SYNTHETIC POREUS FABRIC WILL PROVIDE ADDITIONAL PROTECTION. THE SILT FENCES AND HAY BALE BARRIER WILL BE REPLACED AS DETERMINED BY PERIODIC FIELD INSPECTIONS.

STRAW BALE BARRIERS
 STRAW BALE BARRIERS WILL BE PLACED TO TRAP SEDIMENT TRANSPORTED BY RUNOFF BEFORE IT REACHES THE DRAINAGE SYSTEM OR LEAVES THE CONSTRUCTION SITE. BALES WILL BE SET AT LEAST FOUR INCHES INTO THE EXISTING GROUND TO MINIMIZE UNDERCUTTING BY RUNOFF.

CATCH BASIN PROTECTION
 NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

GRAVEL AND CONSTRUCTION ENTRANCE/EXIT
 A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
 STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY ENDED. UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION, VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE PLANTED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SOONING. SUITABLE TOPSOIL, GOOD SEEDING PREPARATION, AND ADEQUATE FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

STOCKPILE MANAGEMENT
 SIDESLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. HAYBALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOW OF SLOPE.

DUST CONTROL
 PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

Post Construction Stormwater Management
 THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT STORMWATER MANAGEMENT SYSTEMS BE INSPECTED AND MAINTAINED. THE FOLLOWING PLAN COMPONENTS SHALL BE ADHERED TO:

SOURCE CONTROL
 A COMPREHENSIVE SOURCE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE, WHICH INCLUDES REGULAR PAVEMENT SWEEPING AT A MINIMUM 2 TIMES PER YEAR, CATCH BASIN CLEANING, AND MAINTENANCE AND CLEARING OF LITTER FROM PARKING AREAS AND PERIMETER LANDSCAPED AREAS. CLEAN ALL CATCH BASINS AND STRUCTURES TWICE ANNUALLY TO REMOVE ACCUMULATED SAND, SEDIMENT, AND FLOATABLE PRODUCTS OR AS NEEDED BASED ON USE.

DEEP SUMP CATCH BASINS WITH OIL/DEBRIS TRAPS
 CATCH BASINS AT THE SITE ARE TO BE CONSTRUCTED WITH SUMPS (MINIMUM 4- FEET) AND OIL/DEBRIS TRAPS TO TRAP DEBRIS AND SEDIMENTS. CATCH BASINS WILL BE CLEANED TWICE PER YEAR.

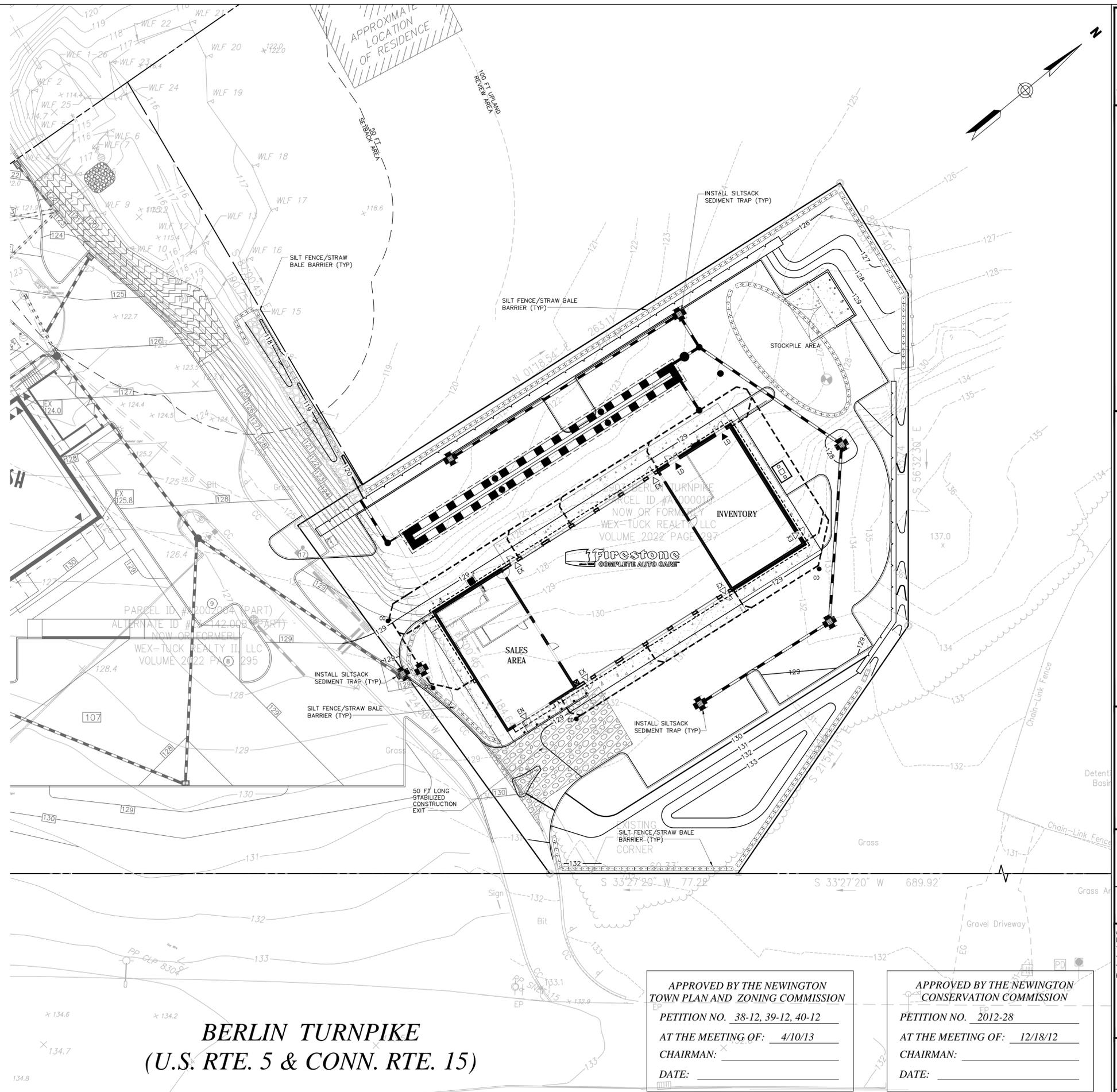
SUBSURFACE INFILTRATION SYSTEM
 THE SUBSURFACE INFILTRATION SYSTEM IS AN UNDERGROUND INFILTRATION SYSTEM TO BE USED FOR SURFACE RUNOFF. INSPECT THE UNDERGROUND INFILTRATION SYSTEM ANNUALLY, IN THE SPRING. NECESSARY REPAIRS WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION.

SNOW SHELF
 INSPECT SNOW SHELVES ONCE ANNUALLY, IN THE SPRING, FOR ACCUMULATED SEDIMENT. NECESSARY SEDIMENT REMOVAL, EARTH REPAIR, AND/OR RESEEDING WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION.

HYDRODYNAMIC SEPARATOR WATER QUALITY UNIT
 A HYDRODYNAMIC SEPARATOR WATER QUALITY UNIT WILL BE USED TO TREAT STORMWATER BEFORE IT REACHES THE DISCHARGE POINT. THIS ALLOWS SUSPENDED SEDIMENTS TO BE REMOVED AND REDUCES SEDIMENTATION ACCUMULATION. INSPECT THE WATER QUALITY UNIT FOR ACCUMULATED SEDIMENT AND DEBRIS. NECESSARY SEDIMENT AND/OR DEBRIS REMOVAL WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION.

ALL E&S CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL OF 0.5 INCHES IN 24 HOURS.

NOTE:
 NO CONSTRUCTION OR INSTALLATION WORK SHALL BE PERFORMED ON THE SITE UNTIL THE TOWN ENGINEER HAS RECEIVED WRITTEN CERTIFICATION FROM A LICENSED SURVEYOR THAT NO CLEARING HAS BEEN PERFORMED EXCEPT AS SHOWN ON THE PLANS AND THAT ALL E&S MEASURES HAVE BEEN COMPLETED AS SHOWN ON THE PLANS.



**BERLIN TURNPIKE
 (U.S. RTE. 5 & CONN. RTE. 15)**

APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
 PETITION NO. 38-12, 39-12, 40-12
 AT THE MEETING OF: 4/10/13
 CHAIRMAN: _____
 DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
 PETITION NO. 2012-28
 AT THE MEETING OF: 12/18/12
 CHAIRMAN: _____
 DATE: _____





Vernase Hangen Brustlin, Inc.



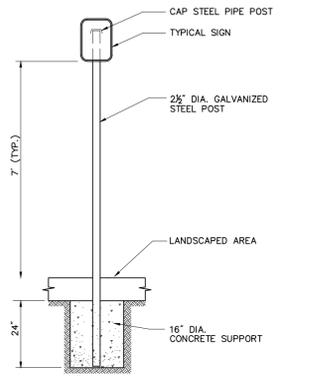
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 OWNER: WEX-TUCK REALTY, L.L.C.
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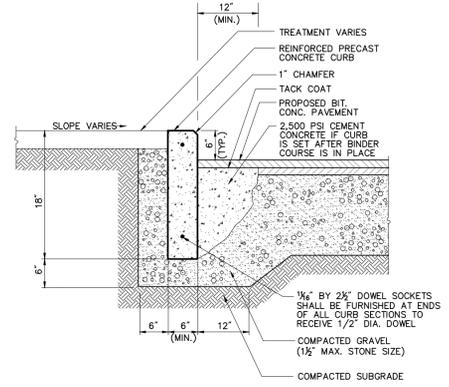
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AOR PROJECT NUMBER:	xxxxxx
LOCAL APPROVALS:	DATE: 11-26-12
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TOWN COMMENTS:	DATE: 04-19-13
TOWN COMMENTS:	DATE: 05-08-13
FENCE ADDED:	DATE: 02-18-20

SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN

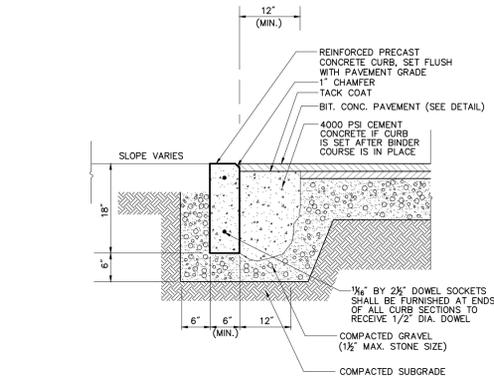
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C-6



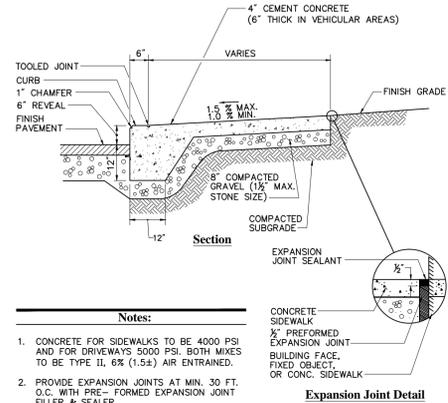
Sign Post - Type 'A' 3/10
 N.T.S. Source: VHB REV LD_701



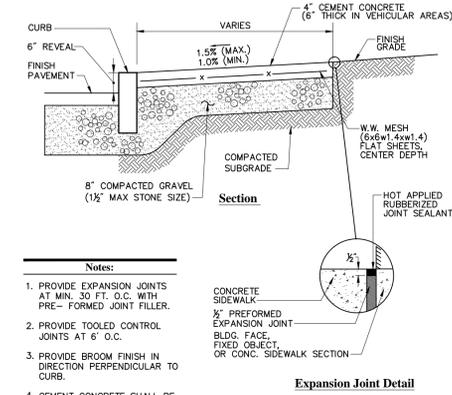
Precast Concrete Curb (PCC) 6/08
 N.T.S. Source: VHB REV LD_404



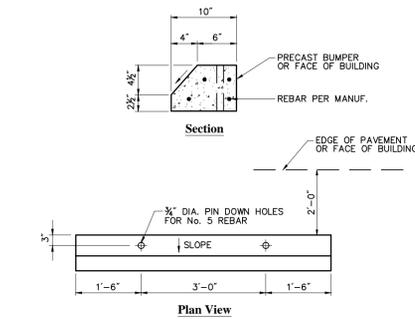
Precast Concrete Curb (PCC) - FLUSH 12/11
 N.T.S. Source: VHB REV LD_404



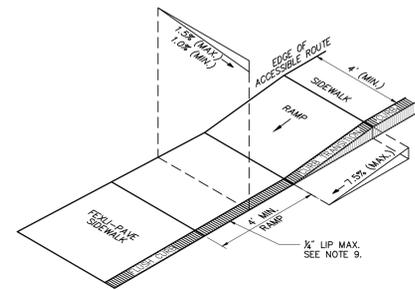
Monolithic Concrete Curb (MCC) & Sidewalk 12/11
 N.T.S. Source: VHB REV LD_420



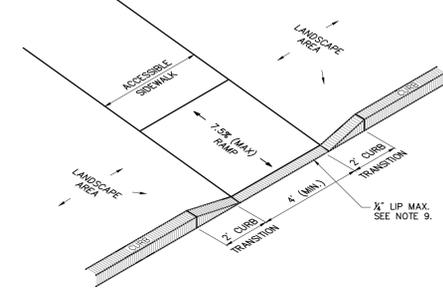
Concrete Sidewalk 4/10
 N.T.S. Source: VHB REV LD_420



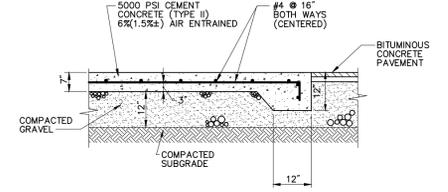
Concrete Bumper 6/08
 N.T.S. Source: VHB REV LD_417



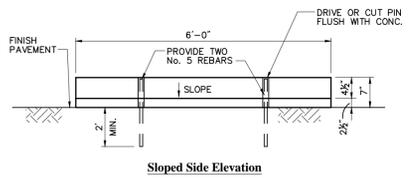
Accessible Curb Ramp (ACR) Type 'G' 11/10
 N.T.S. Source: VHB REV LD_506



Accessible Curb Ramp (ACR) Type 'M' 11/10
 N.T.S. Source: VHB REV LD_512



Dumpster Pad 4/11
 N.T.S. Source: VHB REV LD_710



Mountable Concrete Curb Island 4/11
 N.T.S. Source: VHB REV LD_440

- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

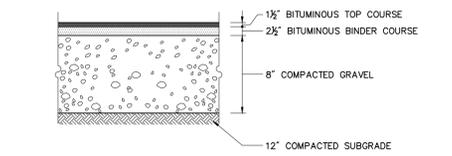
Accessible Parking Space 11/10
 N.T.S. Source: VHB REV LD_552

- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

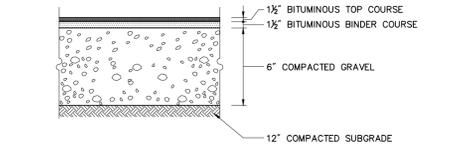
Painted Pavement Markings - On Site 6/08
 N.T.S. Source: VHB REV LD_554

- Notes:**
1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Vinyl Fence - (White, Not intended for dumpster enclosure)
 N.T.S. Source: BY OTHERS

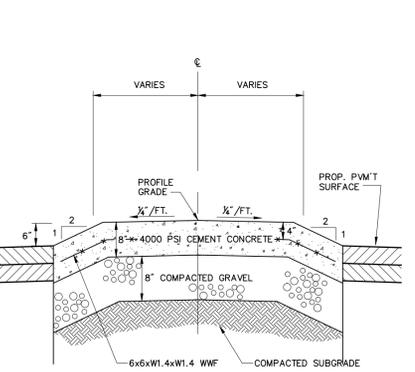


Heavy Duty Flexible Pavement

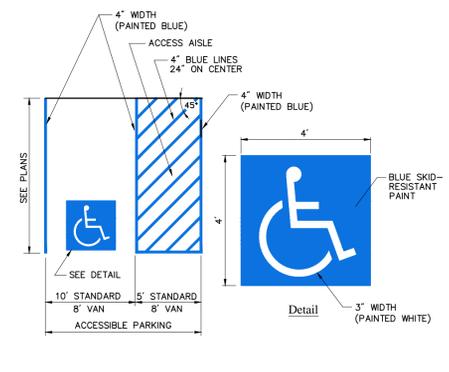


Standard Duty Flexible Pavement

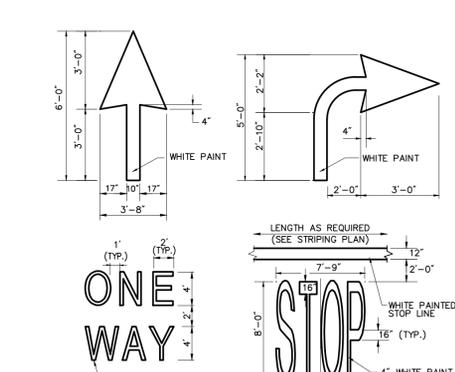
Bituminous Concrete Pavement Sections 6/08
 N.T.S. Source: FES Group REV LD_430



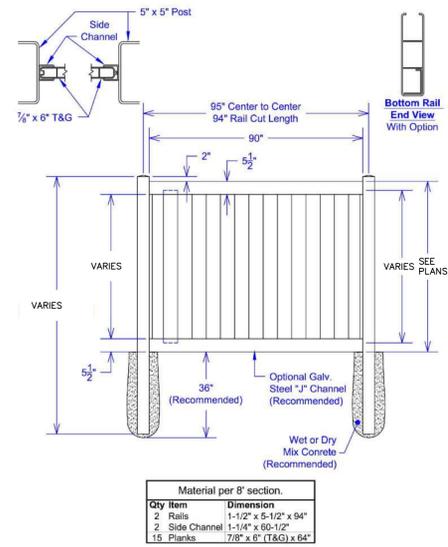
Mountable Concrete Curb Island 4/11
 N.T.S. Source: VHB REV LD_440



Accessible Parking Space 11/10
 N.T.S. Source: VHB REV LD_552



Painted Pavement Markings - On Site 6/08
 N.T.S. Source: VHB REV LD_554



Vinyl Fence - (White, Not intended for dumpster enclosure)
 N.T.S. Source: BY OTHERS

Bituminous Concrete Pavement Sections 6/08
 N.T.S. Source: FES Group REV LD_430



APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
 PETITION NO. 38-12, 39-12, 40-12
 AT THE MEETING OF: 4/10/13
 CHAIRMAN: _____
 DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
 PETITION NO. 2012-28
 AT THE MEETING OF: 12/18/12
 CHAIRMAN: _____
 DATE: _____

VHB
 Vanasse Hangen Brustlin, Inc.

Firestone COMPLETE AUTO CARE

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FIRESTONE COMPLETE AUTO CARE
 2903 BERLIN TURNPIKE
 NEWINGTON, CT 06111
 OWNER: WEX-TUCK REALTY, L.L.C.
 121 PARK STREET
 NEW CANAAN, CT 06840



ZONE APPROVAL (BY/DATE):
 VP: _____
 CONTR: _____
 RM: _____
 CM: _____

PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000

AOR PROJECT NUMBER: xxxxxxx
LOCAL APPROVALS: DATE: 11-26-13
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13

SHEET TITLE:
SITE DETAILS 1

SHEET NUMBER:
C-7



Vanasse Hangen Brustlin, Inc.



THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY MANNER DELETTERIOUS TO THE INTERESTS OF BRIDGESTONE RETAIL OPERATIONS, LLC. ADMSSION TO THE EXCLUSIVE OWNERSHIP AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC.

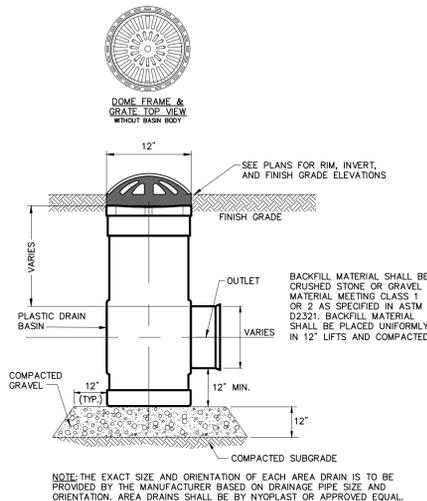
FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840



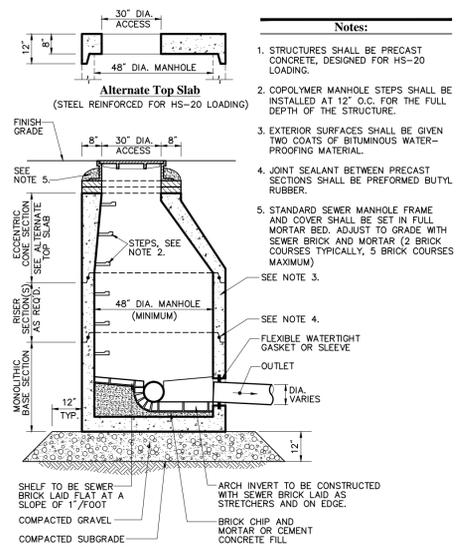
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VP: _____
CONTR: _____
RM: _____
CM: _____
PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000
AOR PROJECT NUMBER: xxxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
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APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____
APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

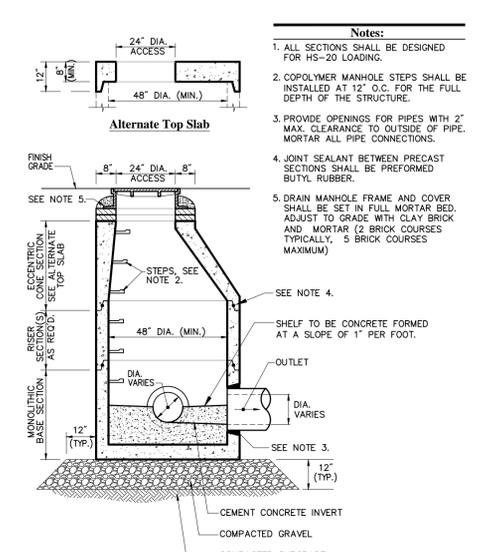
SHEET TITLE:
SITE DETAILS 2
SHEET NUMBER:
C-8



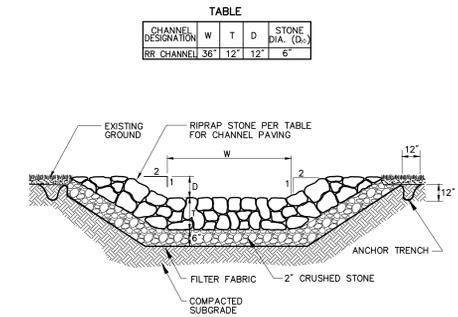
Area Drain (AD) 6/08
N.T.S. Source: ADS LD_200



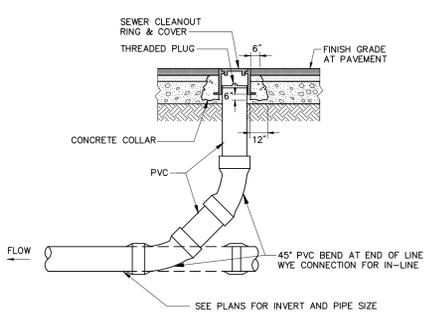
Sanitary Sewer Manhole (SMH) 6/08
N.T.S. Source: VHB LD_200



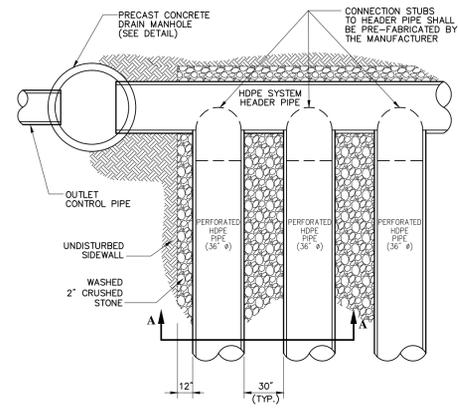
Drain Manhole (DMH) 6/08
N.T.S. Source: VHB LD_115



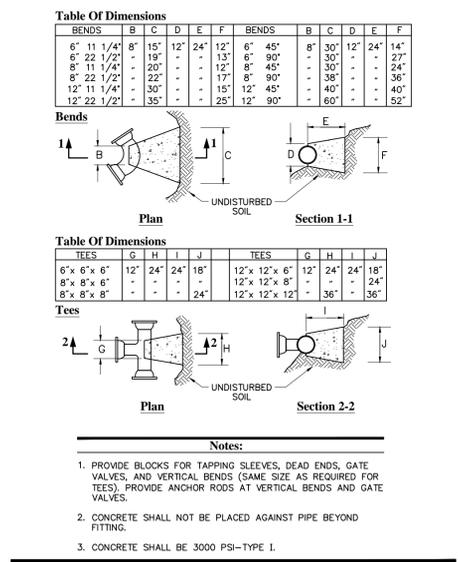
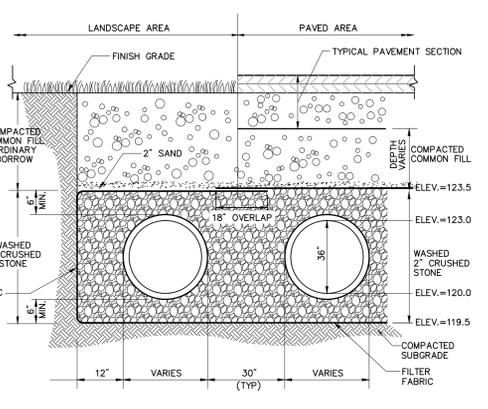
Riprap Channel 6/08
N.T.S. Source: VHB LD_170



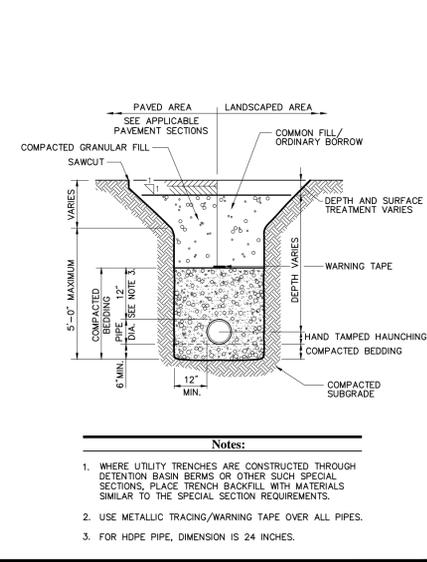
Cleanout - Paved Area 11/10
N.T.S. Source: VHB LD_303



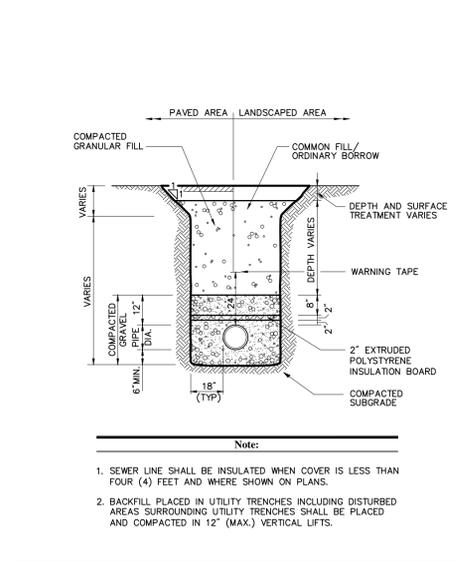
Underground Infiltration System 4/11
N.T.S. Source: VHB REV LD_183



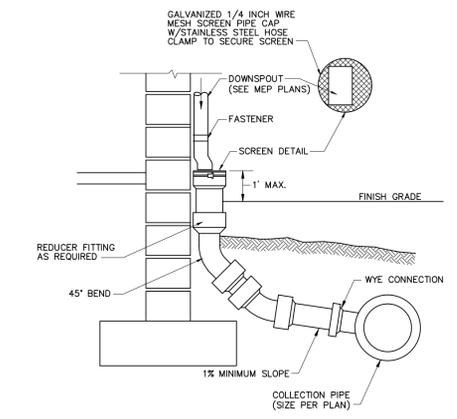
Concrete Thrust Block 10/10
N.T.S. Source: VHB REV LD_260



Utility Trench 6/08
N.T.S. Source: VHB LD_300



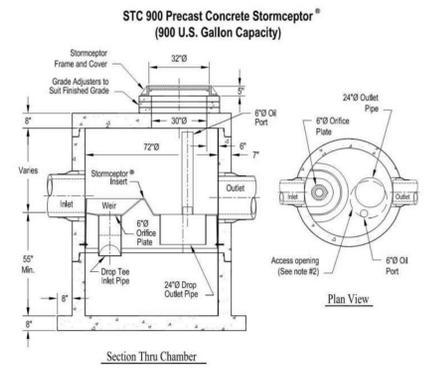
Sewer Line Insulation 6/08
N.T.S. Source: VHB LD_219



Downspout Rain Leader Connection 6/08
N.T.S. Source: VHB REV LD_195

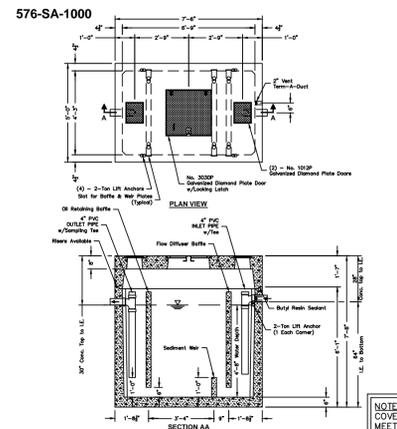
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AT THE MEETING OF: 4/10/13
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DATE: _____

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____



Notes:
 1. The Use Of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4983148, #5498311, #5725760, #5753115, #5849181, #6047818, #6271590.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

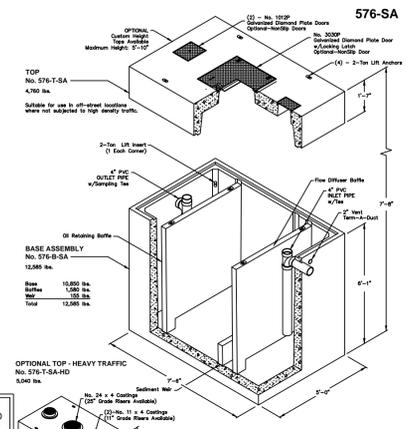
Stormceptor 900 Water Quality Unit 2/12
 N.T.S. Source: Stormceptor



Notes:
 1. *Designed in accordance with ASTM C 802 for AASHTO-1400 wheel loading.
 2. *Frame Rise 87 (8) based on 15 min. retention time.
 3. *Minimum depth 10' (10) for 15 min. retention time.
 4. *Minimum depth 10' (10) for 15 min. retention time.
 5. *Minimum depth 10' (10) for 15 min. retention time.
 6. *Minimum depth 10' (10) for 15 min. retention time.
 7. *Minimum depth 10' (10) for 15 min. retention time.
 8. *Minimum depth 10' (10) for 15 min. retention time.
 9. *Minimum depth 10' (10) for 15 min. retention time.
 10. *Minimum depth 10' (10) for 15 min. retention time.

Oldcastle Precast PO Box 323, Willsboro, Oregon 97070-0323 Tel: (503) 862-2844 Fax: (503) 862-2857	576-SA-1000 Oil/Water Separator 1000 Gallon - API Style	576-SA-1000 Oil/Water Separator 1000 Gallon - API Style
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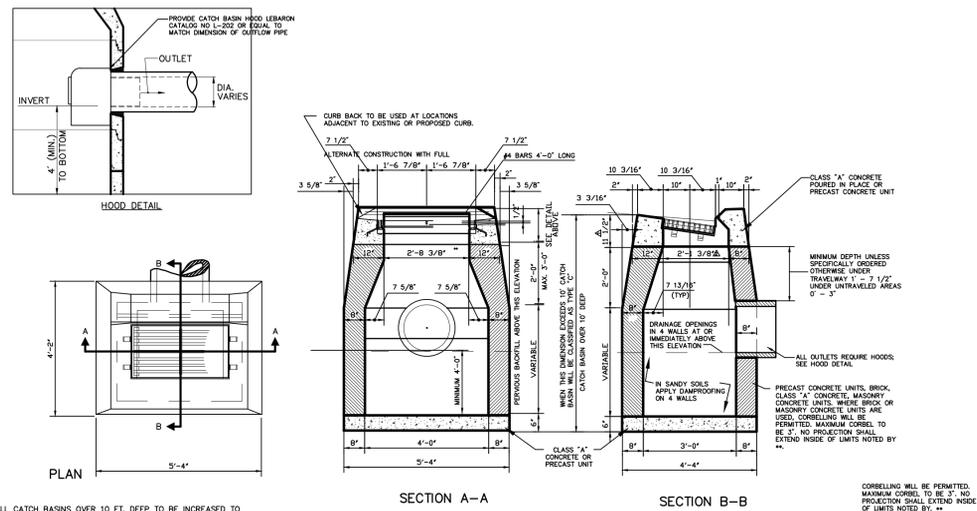
Oil/Water Separator - 1,000 Gallon 10/12
 N.T.S. Source: Connecticut Precast Corp.



Notes:
 1. *Designed in accordance with ASTM C 802 for AASHTO-1400 wheel loading.
 2. *Frame Rise 87 (8) based on 15 min. retention time.
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 9. *Minimum depth 10' (10) for 15 min. retention time.
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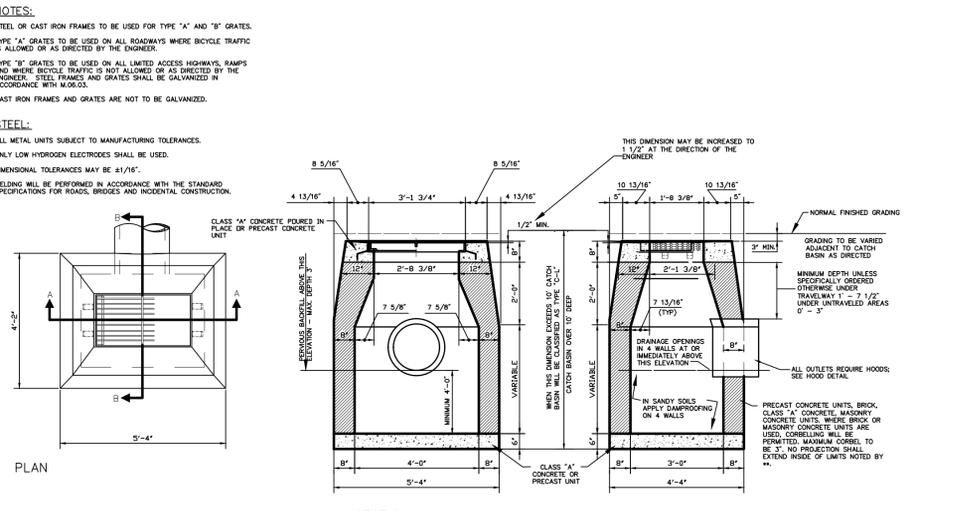
Oldcastle Precast PO Box 323, Willsboro, Oregon 97070-0323 Tel: (503) 862-2844 Fax: (503) 862-2857	576-SA Oil/Water Separator 1000 Gallon - API Style	576-SA Oil/Water Separator 1000 Gallon - API Style
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Oil/Water Separator - 1,000 Gallon 10/12
 N.T.S. Source: Connecticut Precast Corp.



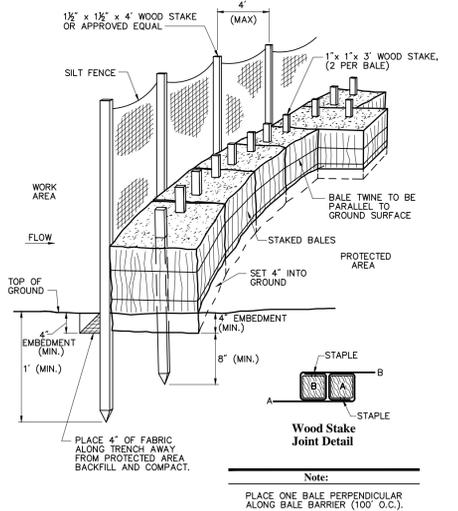
Notes:
 WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS TO REMAIN THE SAME.

Type "C" Catch Basin N.T.S.

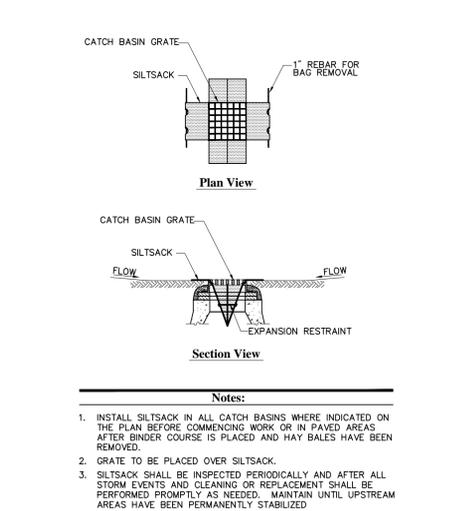


Notes:
 WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS TO REMAIN THE SAME.

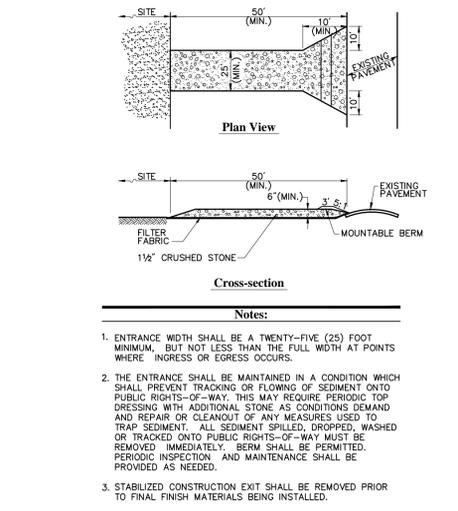
Type "C-L" Catch Basin N.T.S.



Silt Fence / Straw Bale Barrier (Embedded) 2/11
 N.T.S. Source: VHB LD_654



Silt Sack Sediment Trap 6/08
 N.T.S. Source: VHB LD_674



Stabilized Construction Exit 6/08
 N.T.S. Source: VHB REV LD_682

VHB
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Firestone
 COMPLETE AUTO CARE

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FIRESTONE COMPLETE AUTO CARE
 2903 BERLIN TURNPIKE
 NEWINGTON, CT 06111
 OWNER: WEX-TUCK REALTY, L.L.C.
 121 PARK STREET
 NEW CANAAN, CT 06840



APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
 PETITION NO. 38-12, 39-12, 40-12
 AT THE MEETING OF: 4/10/13
 CHAIRMAN:
 DATE:

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
 PETITION NO. 2012-28
 AT THE MEETING OF: 12/18/12
 CHAIRMAN:
 DATE:

ZONE APPROVAL (BY/DATE):
 VP:
 CONTR:
 RM:
 CM:
 PROPERTY NO.: 000000
 6 DIGIT NO.: 000000
 4 DIGIT NO.: 0000

AOR PROJECT NUMBER: xxxxxx
 LOCAL APPROVALS: DATE: 11-26-12
 TOWN COMMENTS: DATE: 01-22-13
 TOWN COMMENTS: DATE: 04-19-13
 TOWN COMMENTS: DATE: 05-08-13

SHEET TITLE:
SITE DETAILS 3
 SHEET NUMBER:
C-9



ZONE APPROVAL (BY/DATE):	
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CONTR:	
RM:	
CM:	
PROPERTY NO.:	000000
6 DIGIT NO.:	000000
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LOCAL APPROVALS DATE:	11-26-12
TOWN COMMENTS DATE:	01-22-13
TOWN COMMENTS DATE:	04-19-13
TOWN COMMENTS DATE:	05-08-13

SHEET TITLE:
SITE DETAILS 5

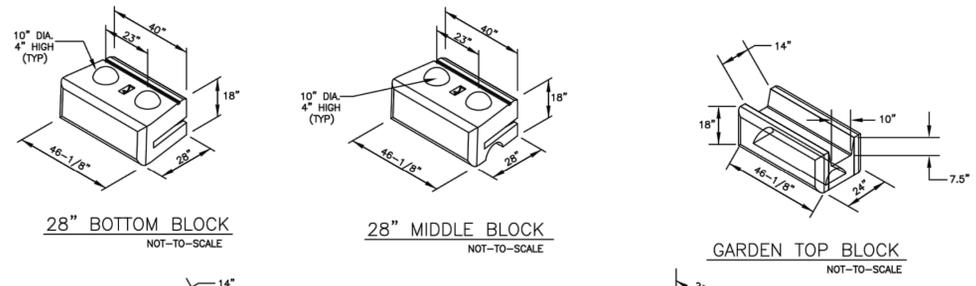
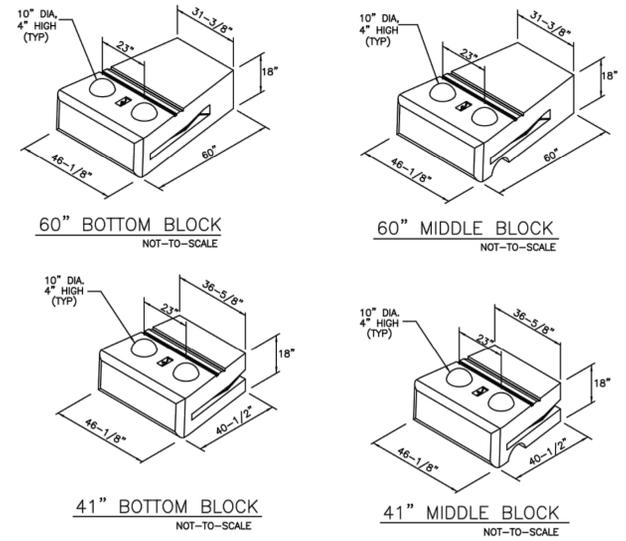
SHEET NUMBER:
C-11

GENERAL NOTES:

- SITE PREPARATION:**
 - STRIP ALL VEGETATION, ORGANIC SOILS AND UNSUITABLE FILL SOILS FROM THE WALL ALIGNMENT AREA.
 - BENCH CUT ALL EXCAVATED SLOPES.
 - DO NOT OVER EXCAVATE UNLESS DIRECTED TO DO SO BY THE OWNER'S SITE REPRESENTATIVE IN ORDER TO REMOVE UNSUITABLE SOIL.
 - THE OWNER'S SITE REPRESENTATIVE SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
- LEVELING PAD & BOTTOM BLOCK:**
 - WHERE THE LEVELING PAD IS CONSTRUCTED ON SUITABLE NATIVE SOILS IT SHALL CONSIST OF DENSE GRADED 3/4" CRUSHED STONE, 12" THICK AND EXTENDING 12" TO EITHER SIDE OF THE BASE BLOCK.
 - WHERE THE LEVELING PAD IS CONSTRUCTED ON GAP OR RAP PIERS THE LEVELING PAD MATERIAL SELECTION AND DESIGN IS THE RESPONSIBILITY OF THE GROUND IMPROVEMENT CONTRACTOR.
 - MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE AS INDICATED ON THE WALL FACE DRAWING.
 - FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS, ESPECIALLY WITH REGARDS TO LEVELING OF BLOCKS AND BASE.
- WALL DRAIN:**
 - DRAINAGE FILL SHALL CONSIST OF ASTM #57 SIZE CRUSHED STONE PLACED FOR A DEPTH OF AT LEAST 12" BEHIND THE WALL. A FILTER FABRIC SHALL BE PLACED OVER THE CUT OR FILL FACE BEHIND THE WALL TO PREVENT THE MIGRATION OF SOIL INTO THE DRAINAGE MATERIAL.
 - THE PERFORATED HDPE DRAINS SHALL OUTLET THROUGH THE WALL FACE AT OR NEAR THE LOCATIONS SHOWN ON THE WALL FACE DRAWING.
 - PLACE A FILTER FABRIC (MIRAFI 140N, OR EQUAL) OVER THE DRAINAGE MATERIAL TO MINIMIZE SOIL MIGRATION FROM THE SURFACE MATERIAL (TOPSOIL OR IMPERVIOUS) INTO THE DRAINAGE MATERIAL.
- BACKFILLING & COMPACTION:**
 - BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED.
 - COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OWNER'S SITE REPRESENTATIVE.
 - COMPACTION SHALL BE TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 - RECOMMENDED COMPACTION EQUIPMENT WITHIN 15 FEET OF THE BACK OF THE WALL IS AS FOLLOWS:
0 - 4 FEET HAND TAMP OR VIBRATORY PLATE COMPACTOR
4 - 15 FEET NOTHING LARGER THAN TWO-DRUM, WALK-BEHIND VIBRATORY ROLLER (LARGER ROLLERS CAN BE USED STATICALLY, PROVIDED LIFT SIZE DOES NOT COMPROMISE ACHIEVEMENT OF NECESSARY COMPACTION RATES.)
- GENERAL WALL LAYOUT & CONSTRUCTION:**
 - FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD BY THE OWNER'S SITE REPRESENTATIVE.
 - PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL AND AWAY FROM THE WALL DURING CONSTRUCTION. DO NOT CONSTRUCT A SWALE BEHIND THE WALL AS PART OF THE FINISHED WALL GRADE ABOVE THE WALL SO THAT WATER FLOWS OVER THE WALL FACE OR TO A POINT AT LEAST AS FAR BEHIND THE WALL AS THE WALL HEIGHT.
 - TURF, OR SOME ACCEPTABLE FORM OF SOIL EROSION PROTECTION, SHOULD BE ESTABLISHED AT THE TOP OF THE WALL (WHERE REQUIRED) BY THE LANDSCAPE CONTRACTOR AS SOON AS THE WALL IS COMPLETED.
 - ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE PROPOSED/EXISTING GRADE IN A MANNER SATISFACTORY TO THE OWNER'S SITE REPRESENTATIVE. AT THE ENDS OF A WALL WHERE BLENDING TAKES PLACE, THE ISSUE IS NOT A STRUCTURAL FACTOR BUT AN AESTHETIC FACTOR AND THE OWNER'S SITE REPRESENTATIVE IS QUALIFIED TO MAKE THIS JUDGEMENT.
 - ADHERE CAPS WITH A MINIMUM OF TWO 3/8" DIAMETER BEADS OF CONSTRUCTION ADHESIVE SUCH AS TITBOND HEAVY DUTY CONSTRUCTION ADHESIVE BY FRANKLIN INTERNATIONAL. MORTAR CEMENT CAN ALSO BE USED.
 - IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
 - THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
 - WALL CERTIFICATIONS: OCCASIONALLY A "SIGN OFF" BY THE DESIGN ENGINEER IS NEEDED AFTER COMPLETION OF WALL CONSTRUCTION. IF THIS SERVICE IS NEEDED ARRANGEMENTS MUST BE MADE WITH THE DESIGN ENGINEER PRIOR TO WALL CONSTRUCTION FOR A SERIES OF SITE VISITS TO OBSERVE WALL CONSTRUCTION. ACCEPTANCE LETTERS, SIGN OFFS, CERTIFICATIONS, WARRANTIES, ETC. WILL NOT BE PROVIDED WITHOUT PERIODIC SITE VISITS.
 - THE BARRIER WALL IS BASED ON DATA PROVIDED BY REDI-ROCK INTERNATIONAL. SEE TEST DATA FOR THE "POURED IN PLACE CONCRETE BEAM" METHOD IN THE REDI-ROCK DESIGN RESOURCE MANUAL.

- BLOCK SPECIFICATION NOTES:**
- ALL BLOCKS SHALL BE MANUFACTURED BY A LICENSED REDI-ROCK (TM) MANUFACTURER.
 - BLOCKS SHALL MEET THE MINIMUM REDI-ROCK SPECIFICATIONS OF 4000 PSI WITH AN AIR CONTENT OF 4%-8%.
 - THE REDI-ROCK UNITS MAY UTILIZE EITHER THE SPLIT LIMESTONE OR COBBLESTONE FACE CONFIGURATION AS CHOSEN BY THE OWNER OR OWNER'S REPRESENTATIVE.

NOTE: HALF-BLOCKS HAVE THE SAME FEATURES AS SHOWN HERE FOR FULL BLOCKS BUT THEY ARE 23-1/16" WIDE, NOT THE FULL 46-1/8" WIDE.

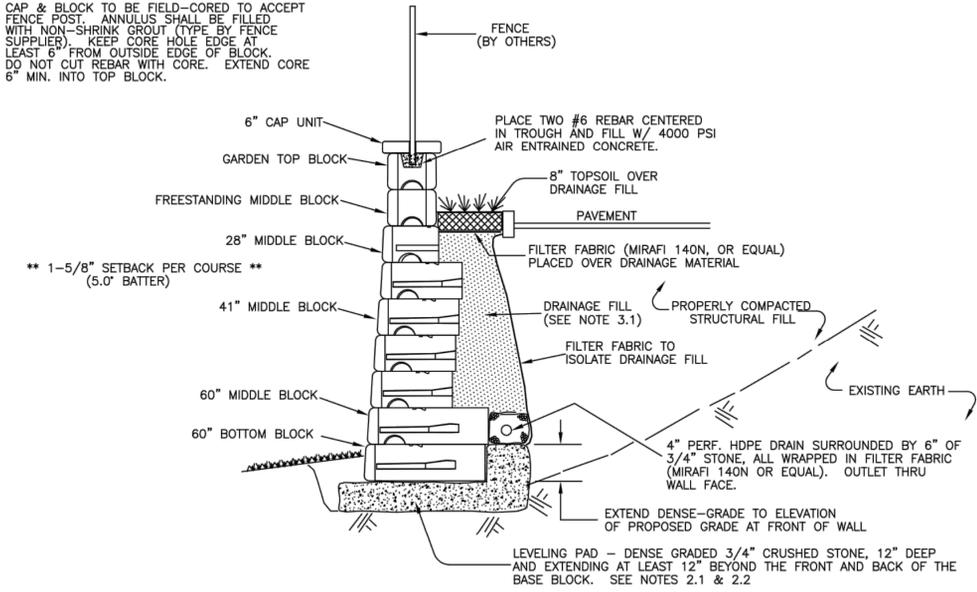
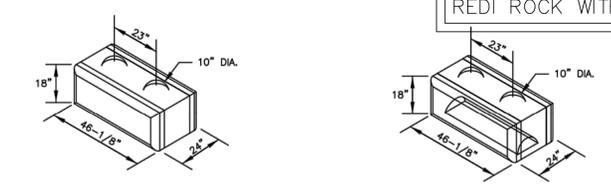


IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET

NOTE:
THIS PLAN IS FOR GENERAL DESIGN INFO ONLY AND TO DEMONSTRATE THAT THE PROPOSED RETAINING WALL SYSTEM WILL WORK WITHIN THE SITE CONSTRAINTS AS INTENDED. CONTRACTOR SHALL PROVIDE STAMPED FINAL DESIGN OF THE RETAINING WALL SYSTEMS WITH VEHICLE FORCE PROTECTION OBTAINED FROM THE GEOTECHNICAL RECOMMENDATIONS. RETAINING WALL SYSTEM SHALL BE BY REDI ROCK WITH NO EXCEPTIONS.

FREESTANDING VARIABLE RADIUS BLOCK

- ALL STRAIGHT BLOCK STYLES ARE AVAILABLE WITH THE END BLOCK INSERT TO ALLOW THE BLOCKS TO BE USED IN VARIABLE RADIUS WALLS (FREESTANDING BLOCK ONLY).
- FIELD SAW BLOCKS ON ENDS TO PROVIDE VARIABLE RADIUS WALLS.
- INTERCHANGEABLE WITH "FLAT END" FREESTANDING BLOCK OF SIMILAR TYPE.



TYPICAL SECTION - GRAVITY WALL
(TYPICAL DETAIL ONLY - SEE WALL FACE DRAWING FOR SPECIFIC BLOCK CONFIGURATIONS)
"REDI-ROCK" SEGMENTAL RETAINING WALL

COMPACTION NOTE: WHERE THE RETAINING WALL PASSES OVER ANY UTILITY LINES, COMPACTION OF THE SOIL WITHIN THE UTILITY TRENCH IS CRITICAL IN ORDER TO PREVENT SETTLEMENT OF THE WALL. COMPACTION OF ALL FILL MATERIAL IN UTILITY TRENCHES WHICH PASS UNDER THIS RETAINING WALL MUST BE AT LEAST 95% OF THE MAXIMUM DENSITY OF THE FILL MATERIAL.

STRUCTURAL FILL GENERAL REQUIREMENTS

SIEVE SIZE	% PASSING
3.5"	100%
1.5"	30-75%
0.25"	25-60%
#10	15-45%
#40	5-25%
#100	0-10%
#200	0-5%

STRUCTURAL FILL PER GEOTECHNICAL REPORT

IMPERVIOUS MATERIAL GENERAL REQUIREMENTS

SIEVE SIZE	% PASSING
3"	100%
#4	80-100%
#40	50-90%
#100	40-80%
#200	30-80%

8" OF TOPSOIL IS AN ACCEPTABLE ALTERNATE FOR IMPERVIOUS FILL ALONG THE TOP OF THE WALL.

DESIGN ASSUMPTIONS

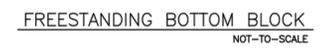
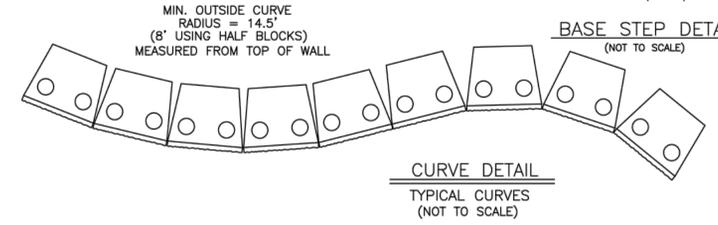
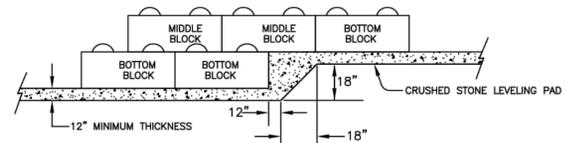
SOIL	SOIL UNIT WEIGHT	φ
SELECT FILL/BACKFILL	135	30
RETAINED EARTH	135	30
FOUNDATION SOIL*	135	30

APPLIED SURCHARGE LOADING: 250 psf
SEISMIC ACCELERATION = 0.15
* WHERE PRESENT

MINIMUM FACTORS OF SAFETY

OVERTURNING	1.5
SLIDING	1.5
BEARING CAPACITY	2.0

NOTE: WHERE THE REDI-ROCK WALL WILL BE SUPPORTED ON GROUND IMPROVEMENT GAP OR RAP PIERS IT IS THE RESPONSIBILITY OF THE GROUND IMPROVEMENT CONTRACTOR TO EVALUATE THE WALL FOR BEARING CAPACITY AND SLIDING FACTORS OF SAFETY.





Vanasse Hangen Brustlin, Inc.



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FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840

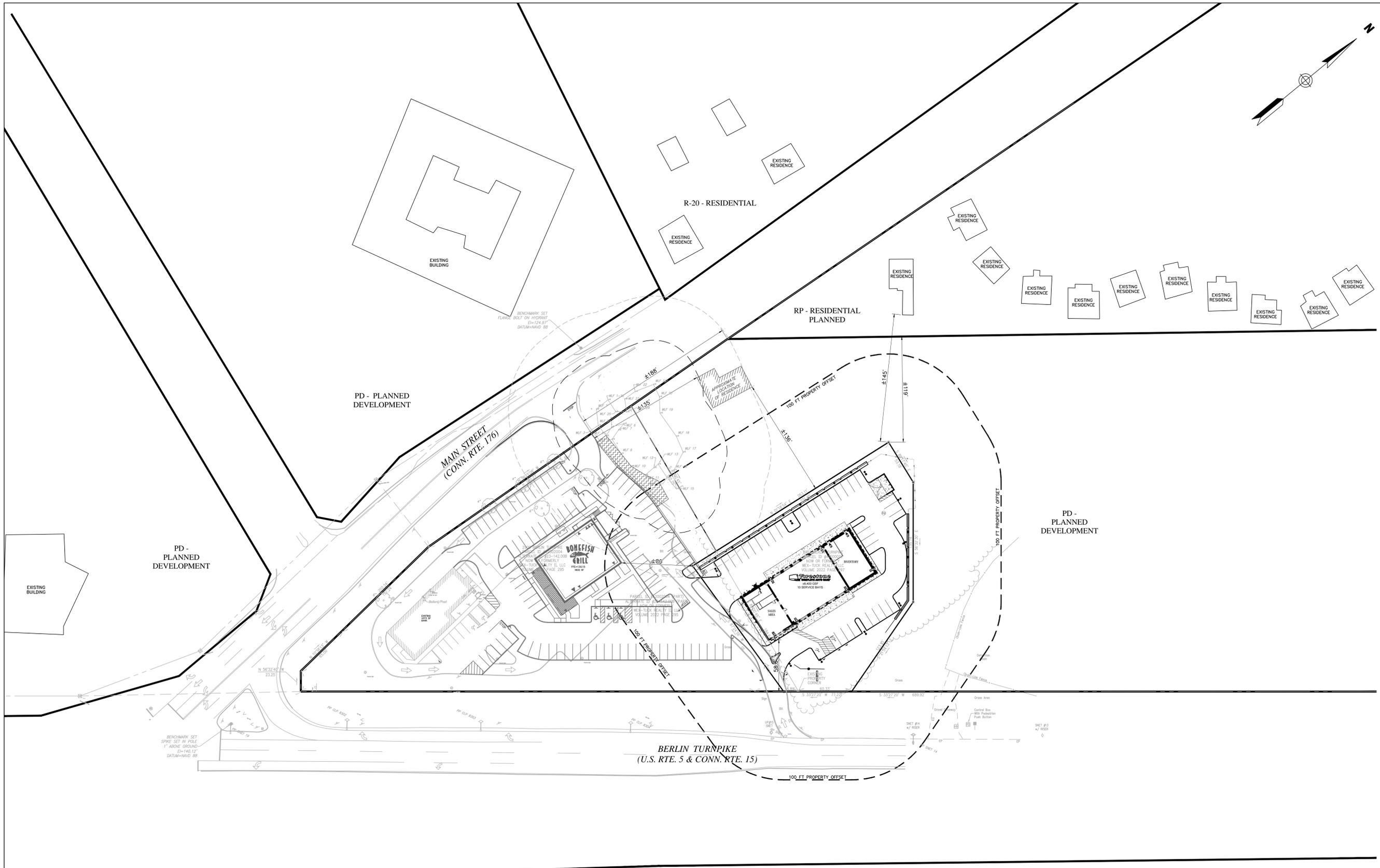
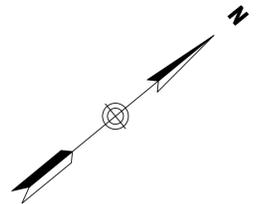


ZONE APPROVAL	(BY/DATE):
VP:	
CONTR:	
RM:	
CM:	
PROPERTY NO.:	000000
6 DIGIT NO.:	000000
4 DIGIT NO.:	0000
AOR PROJECT NUMBER:	xxxxxxx
LOCAL APPROVALS:	DATE: 11-26-12
TOWN COMMENTS:	DATE: 01-22-13
TOWN COMMENTS:	DATE: 04-19-13
TOWN COMMENTS:	DATE: 05-08-13
FENCE ADDED:	DATE: 02-18-20

SHEET TITLE:
SITE LOCATION PLAN

SHEET NUMBER:

SLP-1



NOTE:
ZONING BOUNDARIES SHOWN ARE BASED ON OVERLAY OF TOWN ZONING MAP. EXISTING BUILDING SHOWN OUTSIDE OF THE PROPERTY LIMITS ARE BASED ON AERIAL IMAGES.

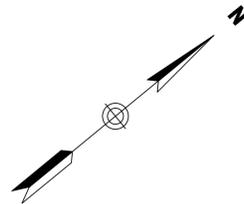
APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
 PETITION NO. 38-12, 39-12, 40-12
 AT THE MEETING OF: 4/10/13
 CHAIRMAN: _____
 DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
 PETITION NO. 2012-28
 AT THE MEETING OF: 12/18/12
 CHAIRMAN: _____
 DATE: _____



**MAIN STREET
(CONN. RTE. 176)**

APPROXIMATE
LOCATION
OF RESIDENCE



Firestone
COMPLETE AUTO CARE

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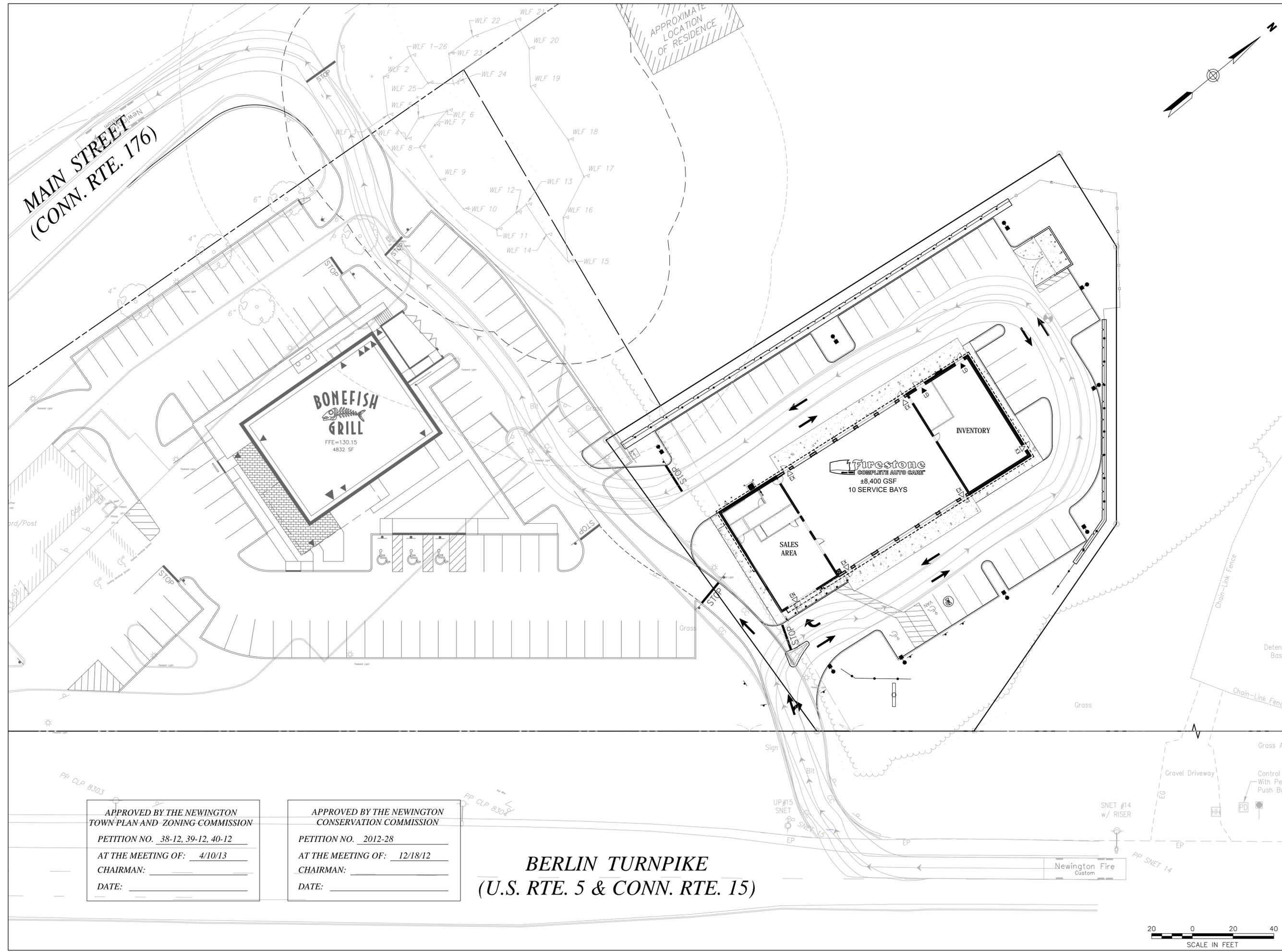
FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840



ZONE APPROVAL	(BY/DATE):
VP:	
CONTR.	
RM.	
CM.	
PROPERTY NO.:	000000
6 DIGIT NO.:	000000
4 DIGIT NO.:	0000
AOR PROJECT NUMBER:	xxxxxx
LOCAL APPROVALS DATE:	11-26-12
TOWN COMMENTS DATE:	01-22-13
TOWN COMMENTS DATE:	04-19-13
TOWN COMMENTS DATE:	05-08-13
FENCE ADDED DATE:	02-18-20

SHEET TITLE:
**FIRE TRUCK
TURNING PLAN**

SHEET NUMBER:
FT-1



APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

BERLIN TURNPIKE
(U.S. RTE. 5 & CONN. RTE. 15)

20 0 20 40
SCALE IN FEET

Landscape Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS'S REPRESENTATIVE OF ANY CONFLICT.
- ALL MULCH SHALL BE RECYCLED RUBBER MULCH AS SPECIFIED UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNERS REPRESENTATIVE.
- ALL TREES SHALL BE BAILED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SODDED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Tree Protection

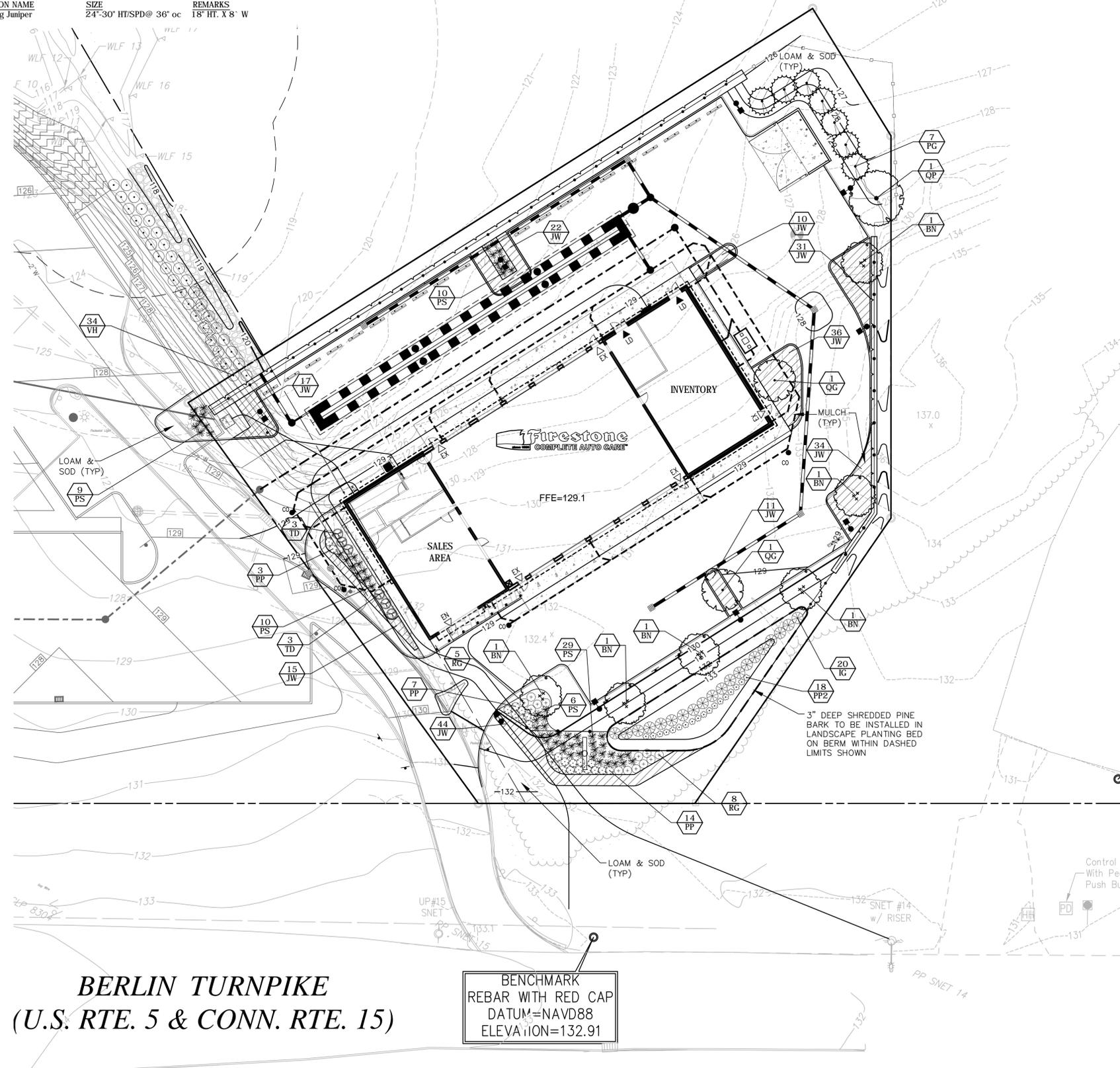
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

Irrigation Notes

- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN & INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, PLUMBING, AND ELECTRICAL CONTRACTORS.
- (INSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- (INSIDE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.
- THE CONTRACTOR MUST SUBMIT AS-BUILT DRAWINGS OF THE FULL IRRIGATION SYSTEM INCLUDING THE LOCATION OF THE RAIN SENSOR, CONTROLLERS, ALL VALVES, PIPES AND SPRINKLER HEAD LOCATIONS.
- ALL SPRINKLER HEADS SHALL BE LOCATED 15" BEHIND CURB.
- IRRIGATION SYSTEM SHALL NOT INCLUDE DRIP IRRIGATION.
- SYSTEM SHALL INCLUDE RAIN SENSOR MOUNTED TO BUILDINGS FLOW SENSOR, AND BLOW-OUT VALVE ON BUILDING EXTERIOR.

PLANT_SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
BN	6	Betula nigra	River Birch Multi-Trunk	2 1/2 - 3" CAL.	40' HT. X 40" W.
QP	1	Quercus palustris	Pin Oak	2 1/2 - 3" CAL.	50' HT. X 30" W.
QG	2	Quercus palustris 'Green Pillar'	Green Pillar Oak	2 1/2 - 3" CAL.	50' HT. X 15" W.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
FG	7	Picea glauca	White Spruce	6 - 8' HT.	40' HT. X 15" W.
TD	6	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	6 - 8' HT.	15' HT. X 4" W.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
IG	20	Ilex glabra 'Compacta'	Compact Inkberry Holly	4' HT. MIN.	
PP2	18	Potentilla fruticosa 'Pink Beauty'	Pink Beauty Potentilla	18 - 24" HT.	
PS	64	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass	2 gal	5' HT. x 3" W
PP	24	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	18 - 24" SPD	2.5' HT X 3" W
RG	13	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	18 - 24" SPD	3' HT. X 6" W
VH	34	Vaccinium corymbosum	Highbush Blueberry	18 - 24" HT.	6' HT X 5" W
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
JW	220	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	24"-30" HT/SPD @ 36" oc	18' HT. X 8" W



APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____

BERLIN TURNPIKE
(U.S. RTE. 5 & CONN. RTE. 15)

BENCHMARK
REBAR WITH RED CAP
DATUM=NAVD88
ELEVATION=132.91



Vanasse Hangen Brustlin, Inc.



COMPLETE AUTO CARE

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FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840

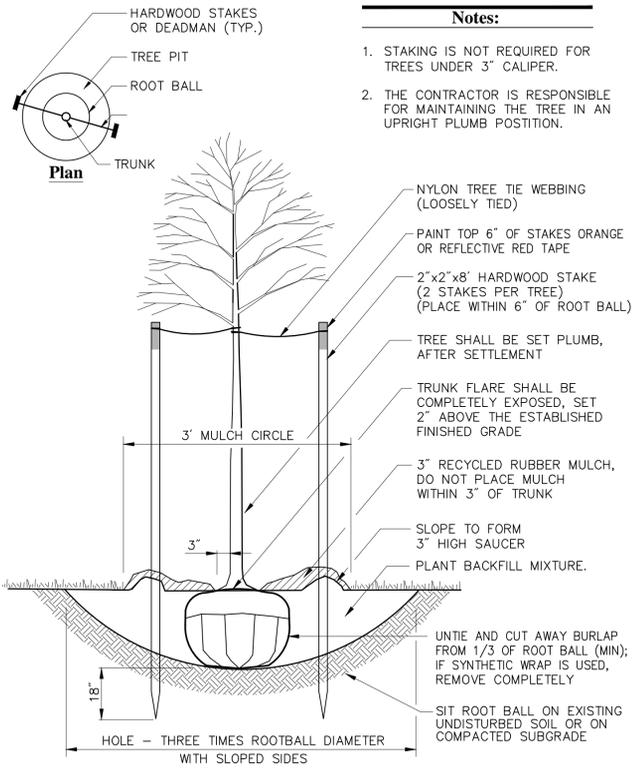


STATE OF CONNECTICUT
PAUL BRIDGEMAN
2282
LICENSED PROFESSIONAL ENGINEER
3/20/2020

ZONE APPROVAL (BY/DATE):	VP:
CONTR.	RM.
CM.	
PROPERTY NO.:	000000
6 DIGIT NO.:	000000
4 DIGIT NO.:	0000
AOR PROJECT NUMBER:	xxxxxxx
LOCAL APPROVALS: DATE:	11-26-12
TOWN COMMENTS: DATE:	01-22-13
TOWN COMMENTS: DATE:	04-19-13
TOWN COMMENTS: DATE:	05-08-13
FENCE ADDED: DATE:	02-18-20

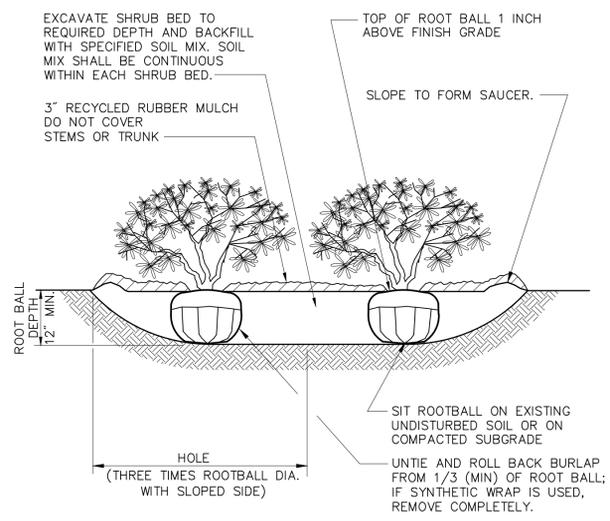
SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:
L-1



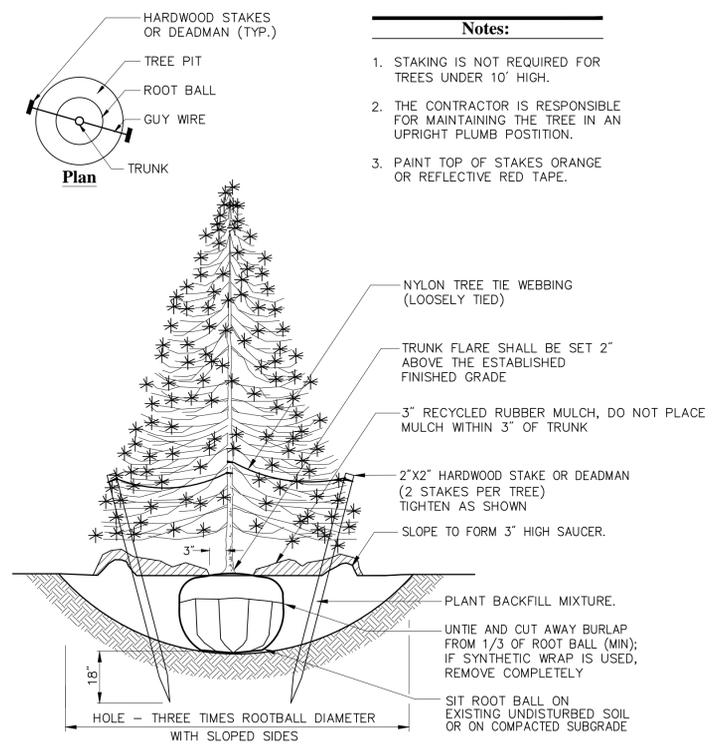
- Notes:**
1. STAKING IS NOT REQUIRED FOR TREES UNDER 3" CALIPER.
 2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE TREE IN AN UPRIGHT PLUMB POSITION.

Tree Planting 1/10
 N.T.S. Source: VHB REV LD_602



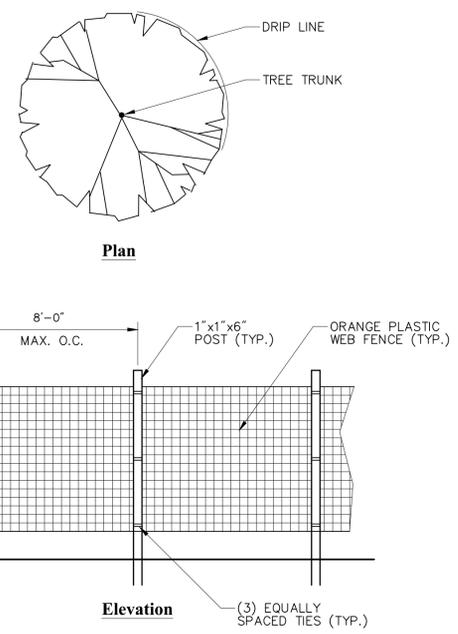
- Notes:**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting 6/08
 N.T.S. Source: VHB REV LD_601



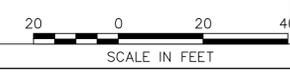
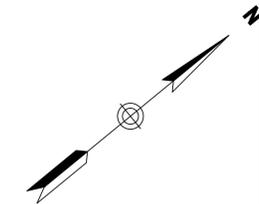
- Notes:**
1. STAKING IS NOT REQUIRED FOR TREES UNDER 10' HIGH.
 2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE TREE IN AN UPRIGHT PLUMB POSITION.
 3. PAINT TOP OF STAKES ORANGE OR REFLECTIVE RED TAPE.

Evergreen Tree Planting 6/08
 N.T.S. Source: VHB REV LD_604



- Notes:**
1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Tree Protection Fence 6/08
 N.T.S. Source: VHB REV LD_610



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 NEWINGTON, CT 06111
 OWNER: WEX-TUCK REALTY, L.L.C.
 121 PARK STREET
 NEW CANAAN, CT 06840

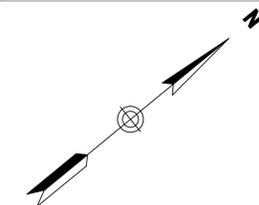


APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
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 AT THE MEETING OF: 4/10/13
 CHAIRMAN: _____
 DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
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 CHAIRMAN: _____
 DATE: _____

ZONE APPROVAL	(BY/DATE):
VP.	
CONTR.	
RM.	
CM.	
PROPERTY NO.:	000000
6 DIGIT NO.:	000000
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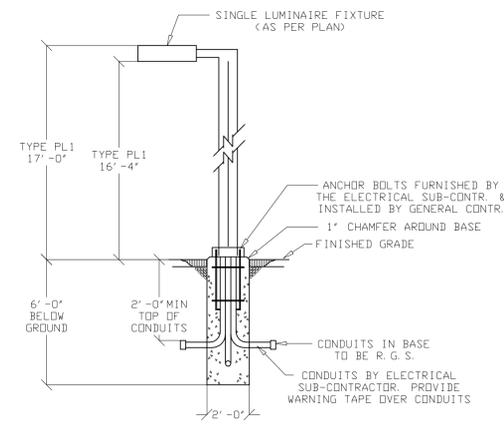
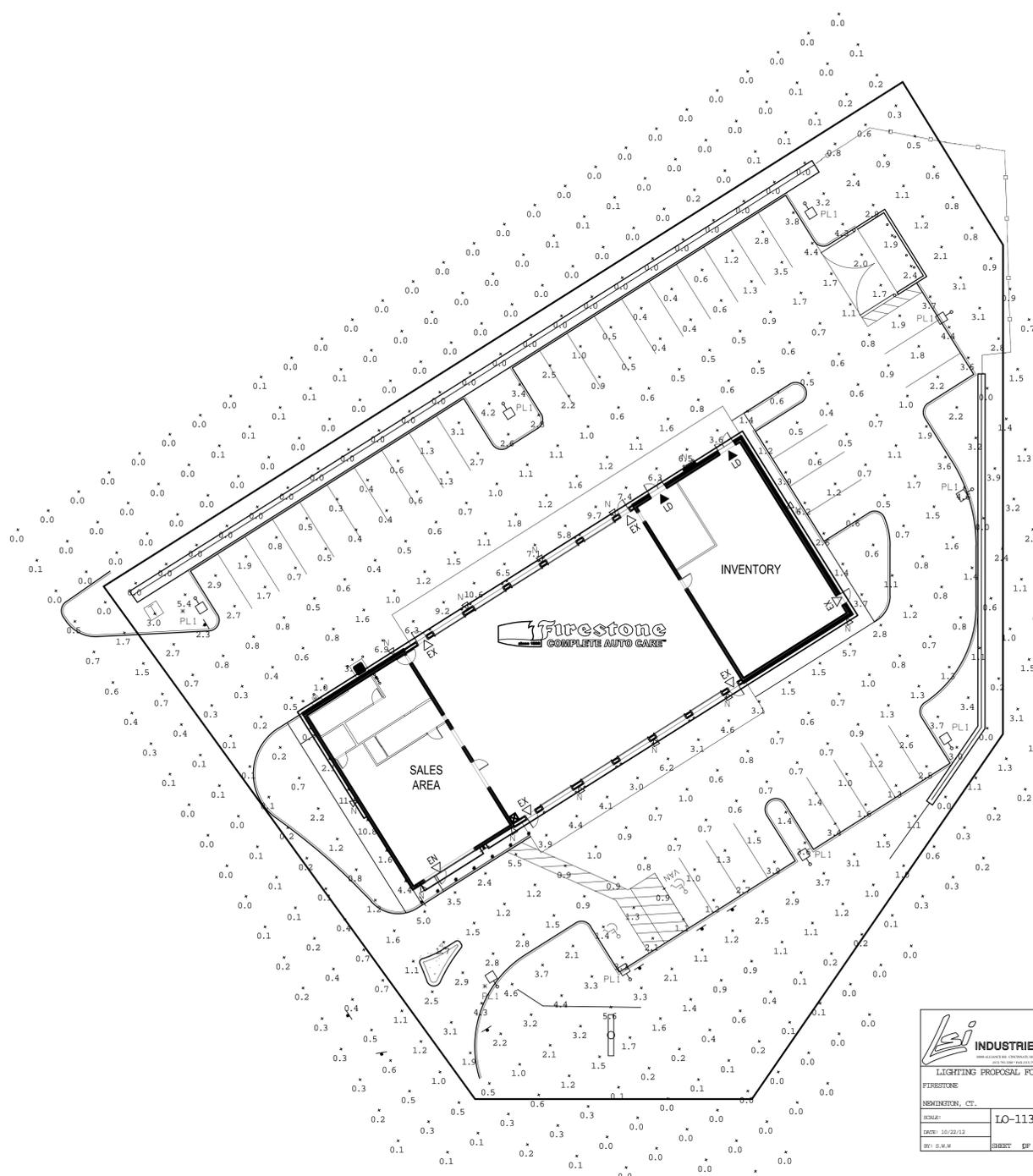
SHEET TITLE:
PLANTING DETAILS
 SHEET NUMBER:
L-2



Firestone
 COMPLETE AUTO CARE

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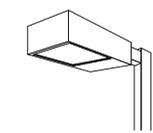
LIGHTING POLE BASE DETAIL
 NOT TO SCALE

NOTE:
 SIZE, DEPTH & REINFORCING STEEL IN BASE TO BE DETERMINED BY GEO. TECH. & STRUCTURAL ENGINEER

- TYPE 'N':
 LSI #WDRS-FT-70-MH-F-MT-BRZ
 70 WATT PULSE START MH (120V)
 MOUNTED AT 10'-0" AFF, FIXTURES FURNISHED AS PART OF BLDG
- TYPE 'PL1':
 LSI #CT2H-3-400PSMH-F-MT-BRZ-450BD-S11G-17-S-BRZ
 400 WATT PULSE START METAL HALIDE/TYPE 3 REFLECTOR-HOUSE SIDE SHIELD
 MOUNTED ON 17'-0" STRAIGHT SQUARE STEEL POLE ON FLUSH BASE (20BV)
 SEE DETAIL ABOVE TOP OF FIXTURE SHALL BE AT 17 FT ABOVE FINISHED GRADE MAX.
- * POLES TO BE SUPPLIED WITH GFCI RECEPTACLE AT 12'-0" ABOVE BASE PLATE WITH WP COVER (2 POLES AT DRIVEWAYS).
 POLES TO BE SET BACK 3'-0" FROM FACE OF CURB.



DORAL SERIES



CITATION
 IESNA FULL CUTOFF

LeI INDUSTRIES*
 LIGHTING PROPOSAL FOR
 FIRESTONE
 NEWINGTON, CT.
 SCALE: LO-113618
 DATE: 10/22/12
 BY: S.W.W. SHEET OF 1

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
CalcPts	illumiance	Fc	1.24	11.5	0.0	N.A.	N.A.	
LOT SUMMARY								
CalcPts	illumiance	Fc	2.00	11.5	0.0	N.A.	N.A.	
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
■	9	PL1	SINGLE	CT2H-3-150-PSMH-F-HSS 17' M.H.	0.800	13000	6978	188
■	13	N	SINGLE	WDRS-FT-150-MH-F 10' M.H.	0.800	6200	3614	88

APPROVED BY THE NEWINGTON
 TOWN PLAN AND ZONING COMMISSION
 PETITION NO. 38-12, 39-12, 40-12
 AT THE MEETING OF: 4/10/13
 CHAIRMAN: _____
 DATE: _____

APPROVED BY THE NEWINGTON
 CONSERVATION COMMISSION
 PETITION NO. 2012-28
 AT THE MEETING OF: 12/18/12
 CHAIRMAN: _____
 DATE: _____

NOTE:
 SEE ARCHITECTURAL PLANS FOR EXACT
 BUILDING LIGHTING LOCATIONS. SEE SITE PLAN
 FOR EXACT SITE LIGHT POLE LOCATIONS.



Record Parcel Descriptions

Sheet 2 of 3

Reference:

This certain parcel of land situated in the Town of Newington, County of Hartford and State of Connecticut, bounded on the north by the Town of Newington, County of Hartford and State of Connecticut, bounded on the east by the Town of Newington, County of Hartford and State of Connecticut, bounded on the south by the Town of Newington, County of Hartford and State of Connecticut, bounded on the west by the Town of Newington, County of Hartford and State of Connecticut, containing 28,225 square feet, more or less, and shown on a map to be filed in the Newington Town Clerk's Office entitled "TOWN OF NEWINGTON MAP SHOWING LAND RELEASED TO WEX-TUCK REALTY LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION BEHIND TURNPIKE U.S. ROUTE 5 & CT ROUTE 15" - 49' ADJUST 23, 2009 THOMAS A. HADLEY, P.E. - CHIEF ENGINEER IN CHARGE OF ENGINEERING AND CONSTRUCTION, TOWN OF NEWINGTON, SERIAL NO. 21A, SHEET NO. 1 OF 1, located and described as follows:

SOUTHEASTERLY by Berlin Turnpike (U.S. Route 5 & CT Route 15) 61 feet, more or less, by a line designated "RELEASE LINE & EXISTING HIGHWAY LINE", as shown on said map.

SOUTHERLY by land of Wex-Tuck Realty LLC, 184.64 feet, by a line designated "RELEASE LINE & PROPERTY LINE", as shown on said map.

WESTERLY by land of the State of Connecticut, 231 feet, more or less, by a line designated "RELEASE LINE", as shown on said map.

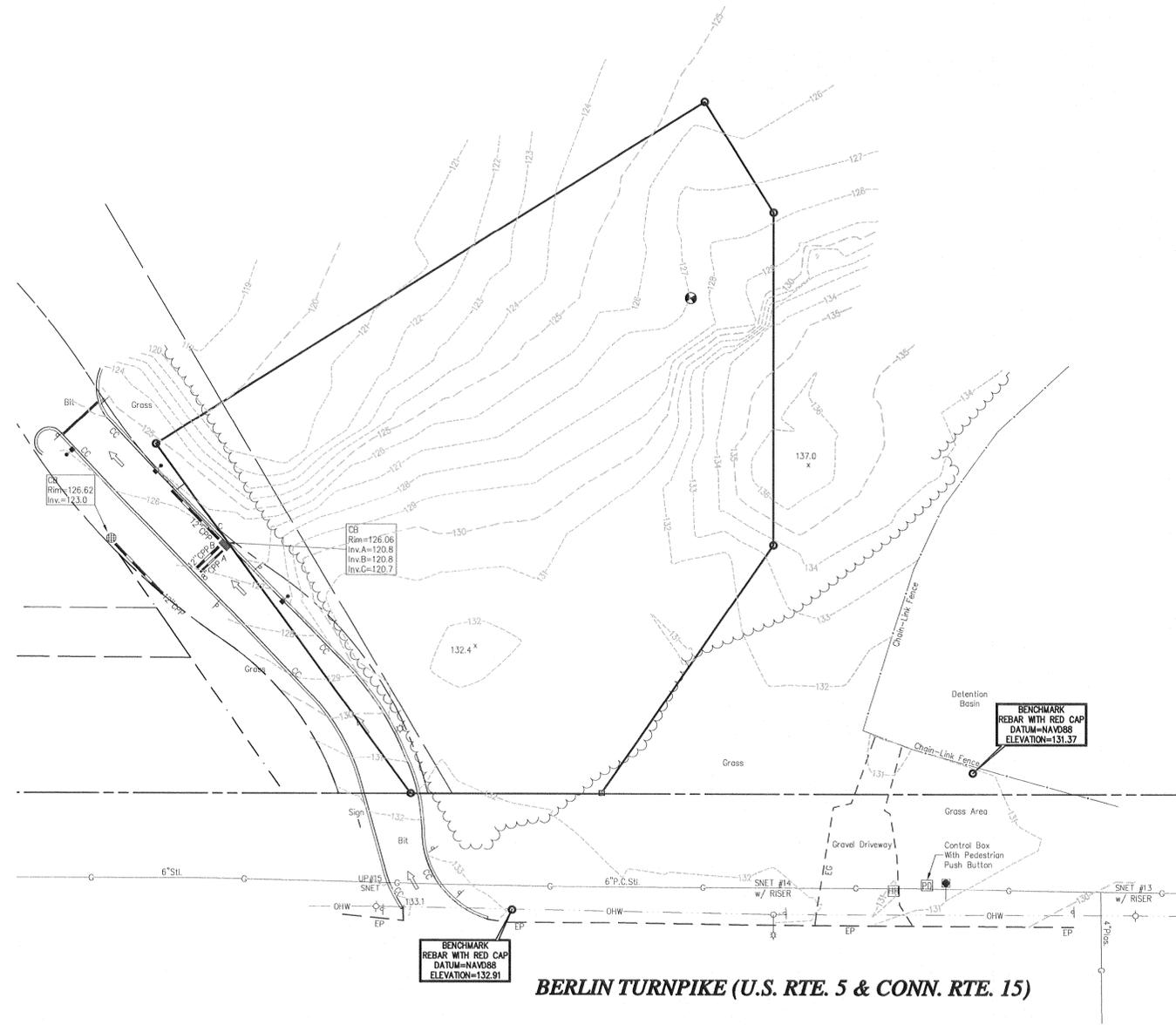
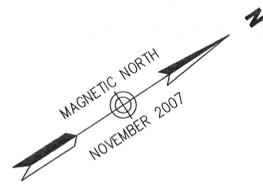
NORTHERLY by land of the State of Connecticut, 231.6 feet, by a line designated "RELEASE LINE", as shown on said map.

NORTHEASTERLY by land of the State of Connecticut, 135.74 feet, by a line designated "RELEASE LINE", as shown on said map.

NORTHEASTERLY by land of the State of Connecticut, 133.15 feet, by a line designated "RELEASE LINE", as shown on said map.

By: *Thomas A. Hadley*
State Engineer
10/23/12

Page 1 of 3



Statutory Form

The State of Connecticut, Department of Transportation, Joseph F. Matte, Commissioner, under authority granted by Section 13a-89 of the General Statutes of Connecticut, as revised, acting herein by Thomas A. Hadley, P.E., Chief Engineer, Bureau of Engineering and Construction, Department of Transportation, duly authorized, and with the advice and consent of the Office of Policy and Management of the State of Connecticut, and the State Properties Review Board, for consideration paid \$195,000.00, Grants to Wex-Tuck Realty LLC, a Delaware Limited Liability Corporation, having an office in the Town of New Britain, County of Hartford and State of Connecticut, with the following CONSENTS:

This certain parcel of land, situated in the Town of Newington, County of Hartford and State of Connecticut, located on the southeasterly side of U.S. Route 5 at 15, Berlin Turnpike, containing 28,225 square feet, more or less, and shown on a map to be filed in the Newington Town Clerk's Office entitled "TOWN OF NEWINGTON MAP SHOWING LAND RELEASED TO WEX-TUCK REALTY LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION BEHIND TURNPIKE U.S. ROUTE 5 & CT ROUTE 15" - 49' ADJUST 23, 2009 THOMAS A. HADLEY, P.E. - CHIEF ENGINEER IN CHARGE OF ENGINEERING AND CONSTRUCTION, TOWN OF NEWINGTON, SERIAL NO. 21A, SHEET NO. 1 OF 1, located and described as follows:

SOUTHEASTERLY by Berlin Turnpike (U.S. Route 5 & CT Route 15) 61 feet, more or less, by a line designated "RELEASE LINE & EXISTING HIGHWAY LINE", as shown on said map.

SOUTHERLY by land of Wex-Tuck Realty LLC, 184.64 feet, by a line designated "RELEASE LINE & PROPERTY LINE", as shown on said map.

WESTERLY by land of the State of Connecticut, 231 feet, more or less, by a line designated "RELEASE LINE", as shown on said map.

NORTHERLY by land of the State of Connecticut, 231.6 feet, by a line designated "RELEASE LINE", as shown on said map.

NORTHEASTERLY by land of the State of Connecticut, 135.74 feet, by a line designated "RELEASE LINE", as shown on said map.

NORTHEASTERLY by land of the State of Connecticut, 133.15 feet, by a line designated "RELEASE LINE", as shown on said map.

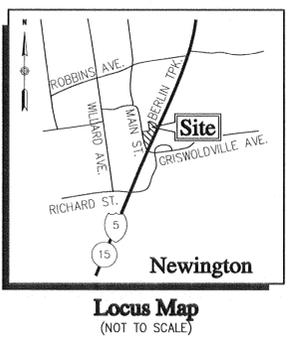
By: *Thomas A. Hadley*
State Engineer
10/23/12

Page 1 of 3

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

54 Tuttle Place
Middletown, Connecticut 06457
860.632.1500 • FAX 860.632.7879



General Notes

- THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB IN NOVEMBER 2007 AND UPDATED IN SEPTEMBER 2010 AND OCTOBER 2012.
- HORIZONTAL AZIMUTH REFERS TO MAGNETIC NORTH AS OBSERVED IN NOVEMBER 2007. VERTICAL DATUM REFERS TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- THE PARCELS SURVEYED LIE WITHIN ZONE PD (PLANNED DEVELOPMENT) - RETAIL/COMMERCIAL AS SHOWN ON THE NEWINGTON TOWN PLAN AND ZONING ZONING DISTRICT MAP, DATED AUGUST 25, 2010.
- BUILDING LINES/YARD SETBACKS DEPICTED ARE BASED ON NEWINGTON TOWN PLAN AND ZONING COMMISSION ZONING REGULATIONS, SECTION 4.5, TABLE B, DATED APRIL 22, 2009.
- PARCELS SURVEYED LIE WITHIN ZONE X AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP FOR HARTFORD COUNTY, CONNECTICUT, TOWN OF NEWINGTON, PANELS 511 & 512 OF 675, MAPS NO. 09003C0511F & 09003C0512F, EFFECTIVE DATE: SEPTEMBER 26, 2008.
- RECORD UTILITY DRAWINGS HAVE BEEN REQUESTED FOR THIS SITE; HOWEVER, AS OF THE DATE OF THIS SURVEY, THE FOLLOWING UTILITIES HAVE NOT BEEN RECEIVED AND ARE THEREFORE NOT DEPICTED ON THE SURVEY: AT&T (TELECOMMUNICATIONS); COX COMMUNICATIONS (CABLE).
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. THE LOCATIONS OF EXISTING UTILITY STRUCTURES SHOULD BE MARKED IN THE FIELD PRIOR TO ANY CONSTRUCTION ACTIVITIES. CALL BEFORE YOU DIG: 1-800-922-4455.

APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION

PETITION NO. 38-12, 39-12, 40-12

AT THE MEETING OF: 4/10/13

CHAIRMAN: _____

DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION

PETITION NO. 2012-28

AT THE MEETING OF: 12/18/12

CHAIRMAN: _____

DATE: _____



Legend

- C.H.D. BORING LOCATION
- MONUMENT
- ROUND CATCH BASIN
- GAS GATE
- STREET SIGN
- CATCH BASIN
- LIGHT POLE
- UTILITY POLE
- UTILITY POLE W/LIGHT
- MAST ARM
- 1 LUMINAIRE
- HAND HOLE
- PEDESTRIAN PUSH BUTTON
- SPOT ELEVATION
- CONCRETE CURB
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- BIT BITUMINOUS PAVEMENT
- UTILITY POLE
- CPP CORRUGATED PLASTIC PIPE
- CLF CHAIN-LINK FENCE
- EDGE OF GRAVEL/LANDSCAPE
- CURB
- CHAIN LINK FENCE
- UNDERGROUND DRAINAGE LINE
- UNDERGROUND SEWER LINE
- OVERHEAD WIRE
- TREE LINE
- WETLAND EDGE
- PROPERTY LINE
- STATE HIGHWAY LINE
- STATE FREEWAY LINE

No.	Revision	Date	Appr.
1	ALTA Update	10/5/2012	CCD

Designed by *TD* Drawn by _____ Checked by _____

CAD checked by *JD* Approved by *CCD*

Scale 1"=30' Date September 14, 2010

Project Title

Berlin Turnpike (U.S. Rte.5 & Conn.Rte.15) and Main Street

Newington, Connecticut

Issued for

ALTA/ACSM

Land Title Survey

Drawing Number

Topographic Survey

Sv-2

Sheet 2 of 2

Project Number 41671.00

Saved Wednesday, May 08, 2013 12:50:54 PM TDADWDWICZ Plotted Wednesday, May 08, 2013 12:51:04 PM Dawidowicz, Todd

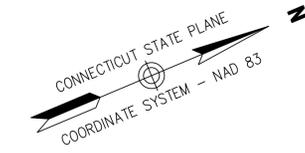
Map References

*ALTA/ACSM LAND TITLE SURVEY, PROPERTY SURVEY, BERLIN TURNPIKE (U.S. RTE. 5 & CONN. RTE. 15) AND MAIN STREET, NEWINGTON, CONNECTICUT, PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED SEPTEMBER 14, 2010 AND REVISED THROUGH MARCH 26, 2013.

SITE PLANS, PROPOSED FIRESTONE COMPLETE AUTO CARE, 2903 BERLIN TURNPIKE, NEWINGTON, CONNECTICUT, SHEETS C-2 & C-4, PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED OCTOBER 31, 2012.

*CONSTRUCTION SKETCH 4 - PROPOSED BONEFISH GRILL, 2903 BERLIN TURNPIKE, NEWINGTON, CONNECTICUT, SHEET CSK-4, PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED APRIL 5, 2013 AND REVISED THROUGH MAY 1, 2013.

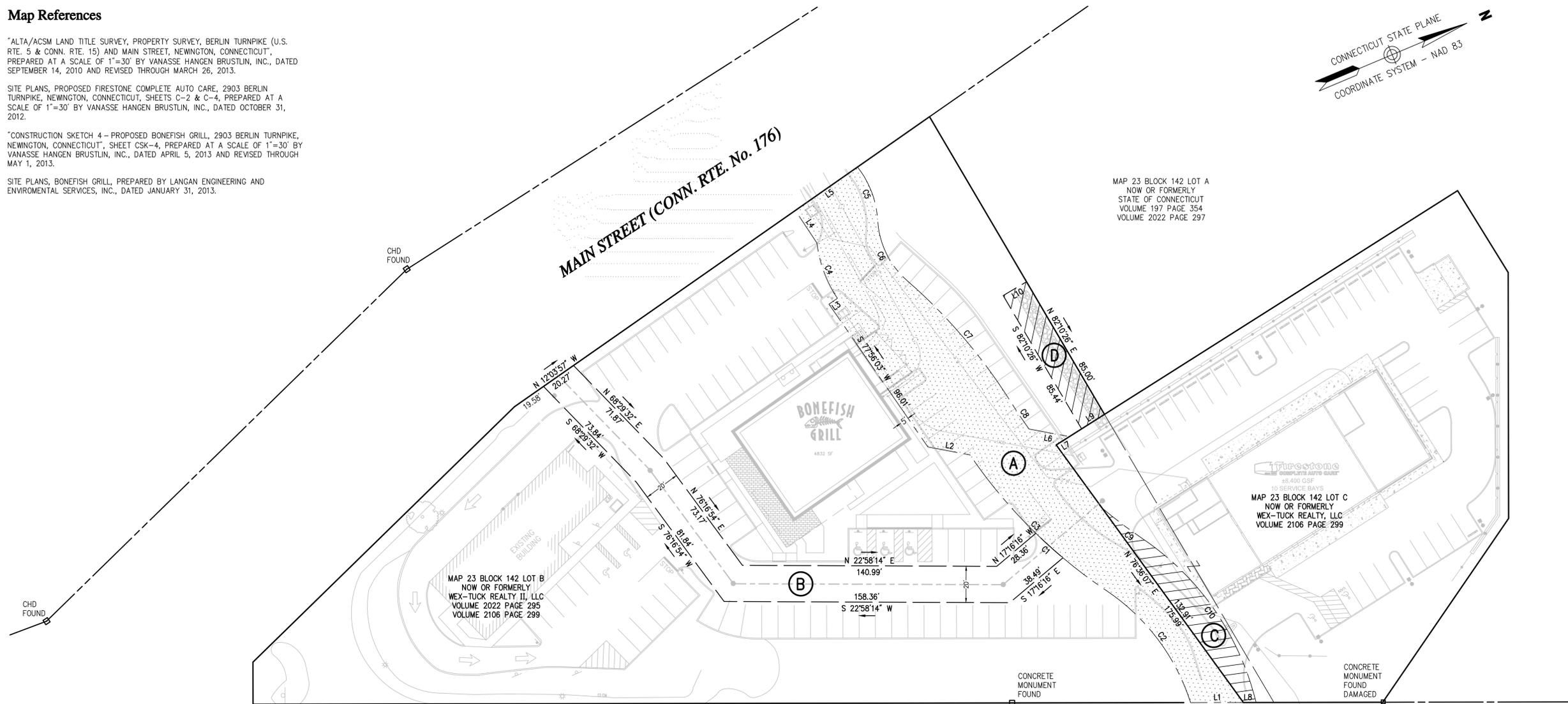
SITE PLANS, BONEFISH GRILL, PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED JANUARY 31, 2013.



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

54 Tuttle Place
Middletown, Connecticut 06457
860.632.1500 • FAX 860.632.7879



**BERLIN TURNPIKE
(U.S. RTE. No. 5 & CONN. RTE. No. 15)**

(A)
PROPOSED ACCESS & UTILITY EASEMENT
IN FAVOR OF LOT C
AREA = 13,015± SQ. FT.
(0.29877± ACRES)

EASEMENT LINE DATA		
SEGMENT	LENGTH	DIRECTION
L1	29.29	S22°38'31"W
L2	23.67	S33°16'50"W
L3	5.64	N12°03'57"W
L4	21.56	S78°57'27"W
L5	42.05	N12°03'57"W
L6	22.83	N33°16'50"E
L7	8.68	S9°29'55"E

(B)
PROPOSED SANITARY SEWER EASEMENT
IN FAVOR OF LOT C
AREA = 6,667± SQ. FT.
(0.15305± ACRES)

EASEMENT CURVE DATA						
NUMBER	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	282.50'	20.20'	4°05'49"	10.10'	20.20'	N64°45'05"E

(C)
PROPOSED ACCESS EASEMENT
IN FAVOR OF LOT B
AREA = 1,616± SQ. FT.
(0.03710± ACRES)

EASEMENT LINE DATA		
SEGMENT	LENGTH	DIRECTION
L8	7.03	S22°38'31"W

EASEMENT CURVE DATA						
NUMBER	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C9	247.50'	27.65'	6°23'59"	13.84'	27.63'	N59°44'32"E
C10	152.50'	113.21'	42°32'03"	59.36'	110.63'	N77°48'33"E

(D)
PROPOSED DRAINAGE EASEMENT
IN FAVOR OF LOT C
(TO BE MAINTAINED BY LOT C)
AREA = 1,278± SQ. FT.
(0.02935± ACRES)

EASEMENT LINE DATA		
SEGMENT	LENGTH	DIRECTION
L9	15.01	S9°29'55"E
L10	15.00	N7°49'34"W

EASEMENT CURVE DATA						
NUMBER	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C2	117.50'	78.70'	38°22'34"	40.89'	77.24'	S75°43'49"W
C3	282.50'	107.38'	21°46'40"	54.34'	106.73'	S67°25'52"W
C4	69.86'	32.87'	26°57'27"	16.75'	32.57'	N87°38'02"W
C5	52.50'	32.01'	34°56'08"	16.52'	31.52'	S87°57'38"E
C6	47.50'	37.99'	45°49'46"	20.08'	36.99'	N86°35'33"E
C7	302.30'	89.67'	16°59'47"	45.17'	89.35'	N72°10'34"E
C8	247.50'	16.94'	3°55'16"	8.47'	16.93'	N78°42'39"E



No.	Revision	Date	Appvd.

Designed by _____ Drawn by **TD** Checked by **PNO**
 CAD checked by **JD** Approved by **CCD**
 Scale 1"=30' Date **May 8, 2013**

Project Title
**Retail Development
Mixed Use**

Berlin Turnpike
Newington, Connecticut
Issued for
Filing

Drawing Title
**Easement Map for
Access/Egress & Utilities**

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

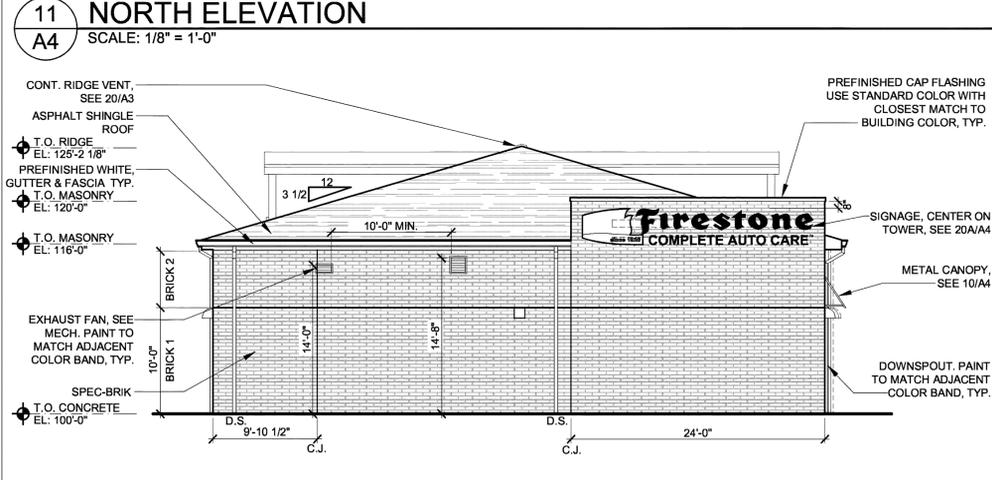
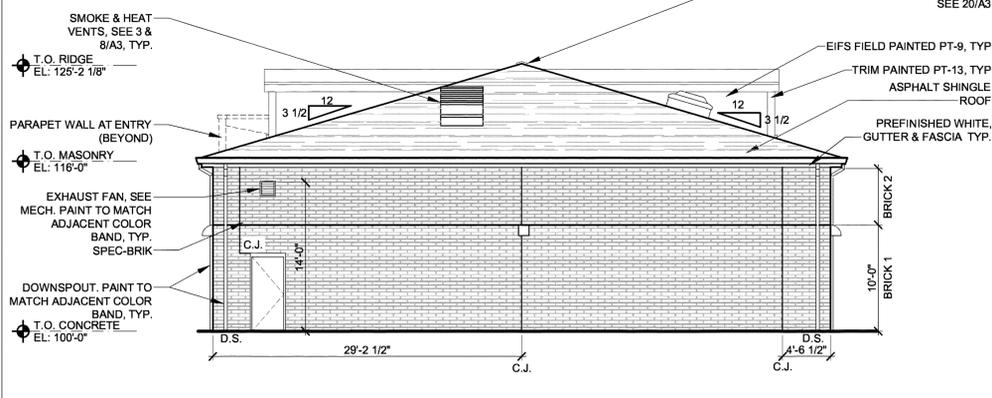
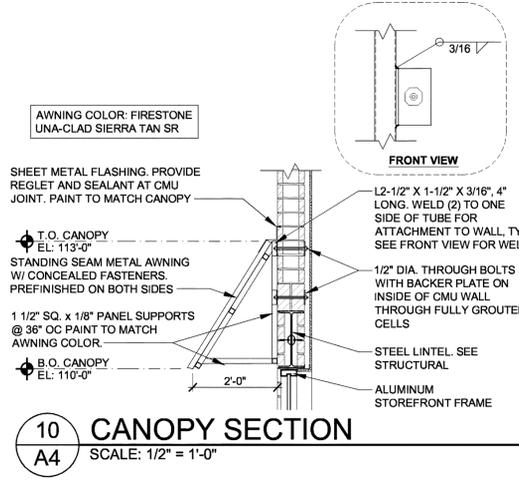
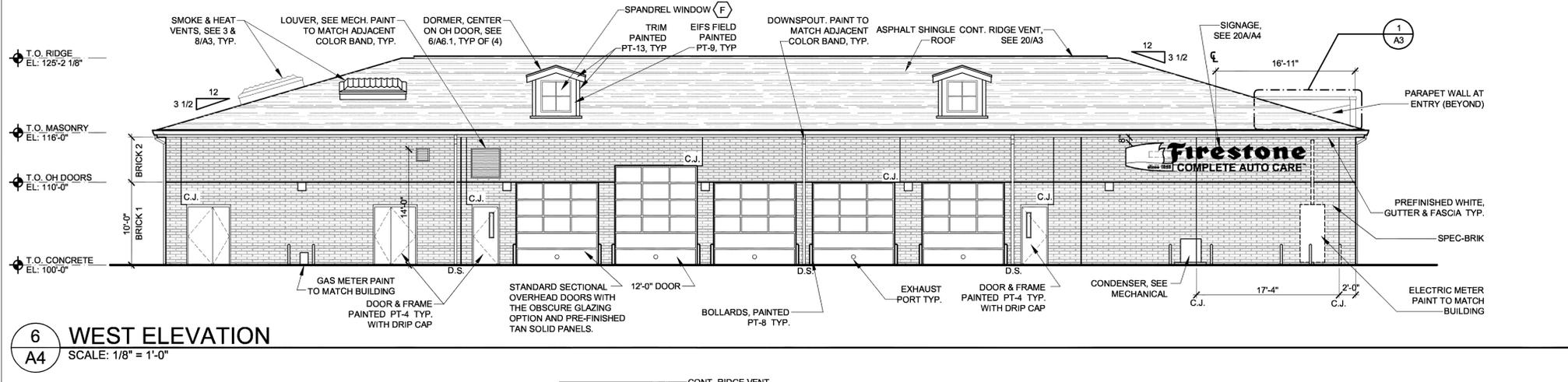
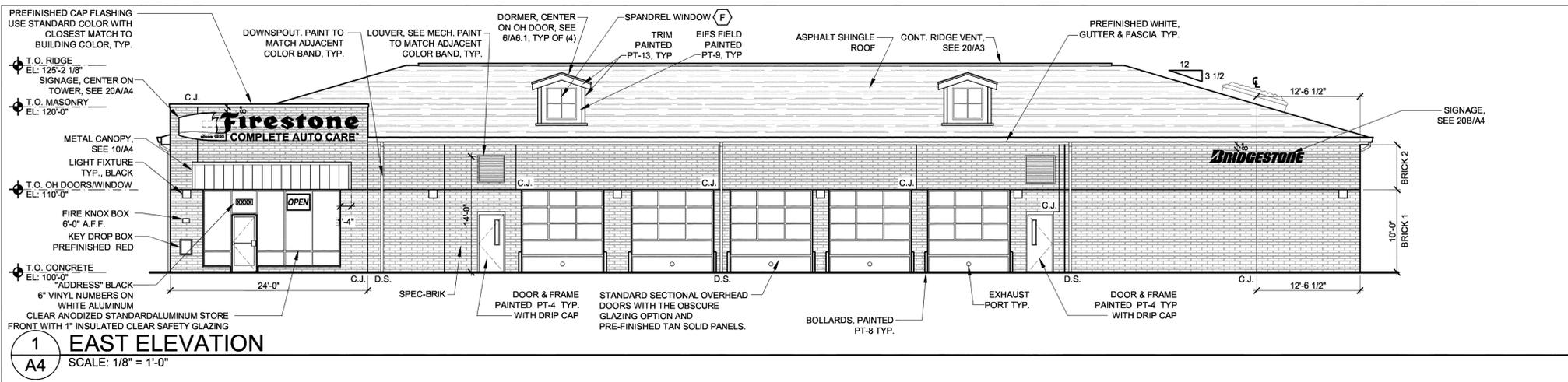
THIS IS AN EASEMENT MAP CONFORMING TO A HORIZONTAL CLASS A-2 ACCURACY.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.



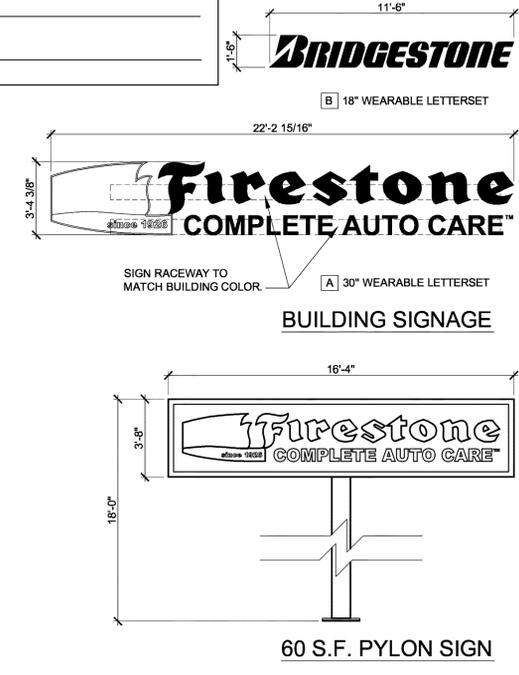
CHRISTOPHER C. DANFORTH, L.S. #70118 DATE _____

Drawing Number
Ea-1
Sheet **1** of **1**
Project Number
41671.01



APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____



- GENERAL NOTES:**
- SEE DETAIL 17/A6 FOR CONTROL JOINT DETAIL
 - PROVIDE DRIP CAP OVER ALL MAN DOORS, SEE DETAIL 1H/A8
 - PAINT ALL EXPOSED LINTELS AND JAMBS TO MATCH ADJACENT BUILDING COLOR.
 - SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
 - SHINGLE COLOR: OWENS CORNING - DESERT TAN
 - INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.
 - REFER SHEET A8 FOR PAINT COLOR KEY.
 - COORDINATE WITH FIRE INSPECTOR FOR LOCATION OF KNOX BOX.
 - SIGNAGE UNDER SEPARATE PERMIT.
 - ELECTRICAL FOUNDATION BY OTHERS.

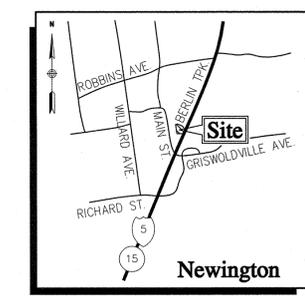
MASONRY SCHEDULE

INTEGRALLY COLORED SPLIT FACE CMU BLOCK		
KEY:	COLOR:	MANUF:
BRICK 1	"FIRESTONE RED"	SPEC BRIK
BRICK 2	"FIRESTONE TAN"	SPEC BRIK

- MATERIAL NOTES:**
- SHERWIN WILLIAMS "BRANDYWINE" SW7710 (PT-4) IS THE PAINT COLOR EQUIVALENT OF SPEC BRIK "FIRESTONE RED"
 - SHERWIN WILLIAMS "ROW HOUSE TAN" SW7689 (PT-9) IS THE PAINT COLOR EQUIVALENT OF SPEC BRIK "FIRESTONE TAN"

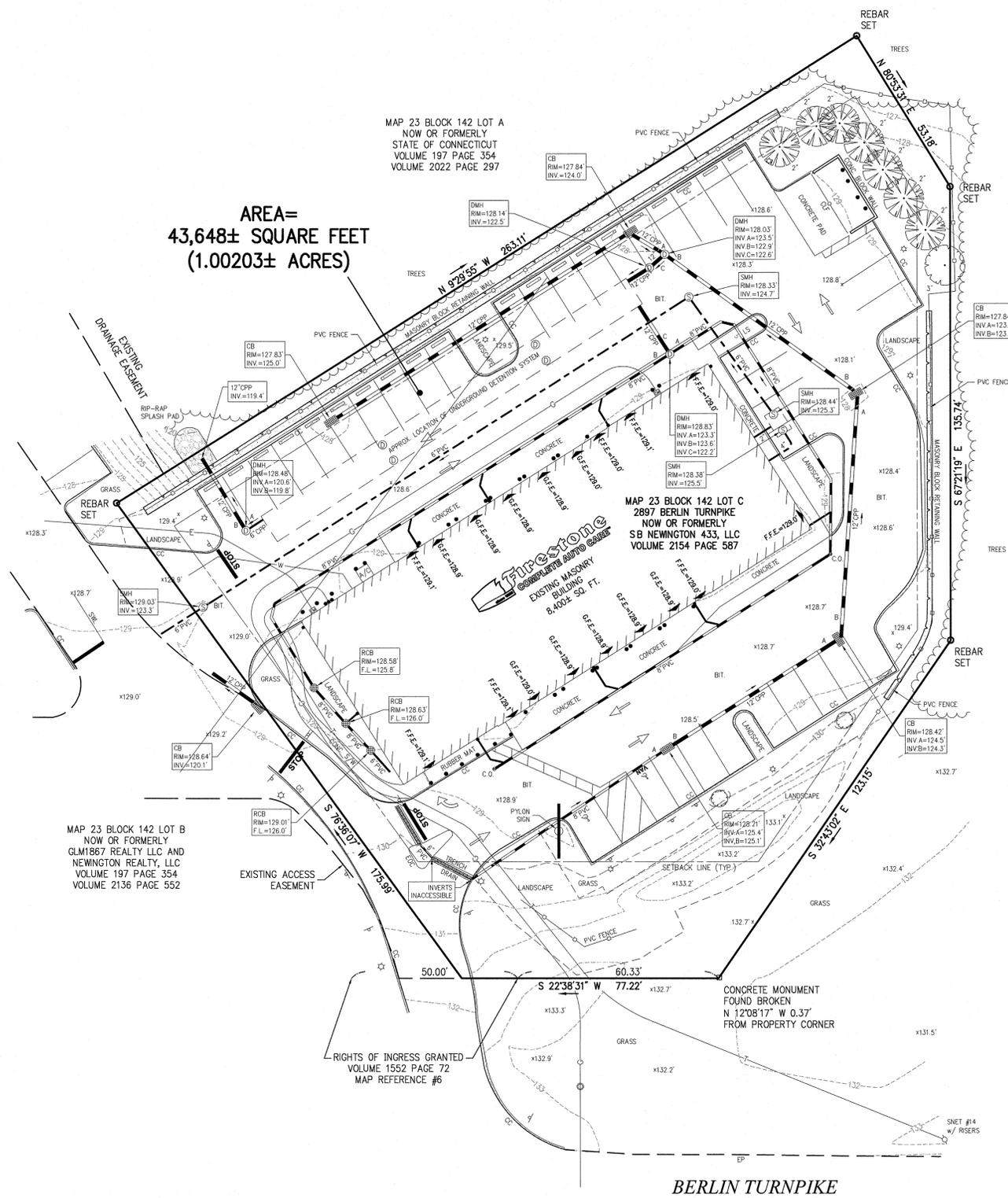


100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300



Map References

1. "CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF NEWINGTON, BERLIN TURNPIKE, FROM MAIN STREET NORTHERLY TO THE WETHERSFIELD LINE", No. 93-07, SHEET 1 OF 5, PREPARED AT A SCALE OF 1"=40', DATED JUNE 1, 1959.
2. "CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF NEWINGTON, BERLIN TURNPIKE, FROM THE BERLIN TOWN LINE NORTH TO MAIN STREET", No. 93-06, SHEET 4 OF 4, PREPARED AT A SCALE OF 1"=40', DATED APRIL 10, 1959.
3. "TOWN OF NEWINGTON, MAP SHOWING LAND ACQUIRED FROM RICHARD BURG ET AL BY THE STATE OF CONNECTICUT, INTERSTATE ROUTE 291," NUMBER 93-74-21, SHEET 1 OF 1, PREPARED AT A SCALE OF 1"=40', DATED MAY 1969 AND REVISED THROUGH NOVEMBER 9, 1970.
4. "TOWN OF NEWINGTON, MAP SHOWING LAND ACQUIRED FROM SOLOMON DAVIS ET ALS BY THE STATE OF CONNECTICUT, INTERSTATE ROUTE 291," NUMBER 93-74-51, SHEET 1 OF 1, DATED APRIL 1971 AND REVISED THROUGH JUNE 23, 1971.
5. "COMPILATION PLAN, TOWN OF NEWINGTON, MAP SHOWING LAND RELEASED TO RENAISSANCE DEVELOPMENT CORP. BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, CT ROUTE 15 - BERLIN TURNPIKE AT MAIN STREET", PROJECT No. 93-74, SERIAL No. 52A, PREPARED AT A SCALE OF 1"=40', DATED SEPTEMBER 2000. ON FILE IN THE NEWINGTON TOWN CLERK'S OFFICE AS MAP 3477.
6. "COMPILATION PLAN, TOWN OF NEWINGTON, SHOWING RIGHTS OF ACCESS GRANTED TO RENAISSANCE DEVELOPMENT CORP. BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, CT. ROUTE 15 - BERLIN TURNPIKE AT MAIN STREET," PROJECT No. 93-74, SERIAL No. 52B, PREPARED AT A SCALE OF 1"=40', DATED SEPTEMBER 2000. ON FILE IN THE NEWINGTON TOWN CLERK'S OFFICE AS MAP 3496.
7. "COMPILATION PLAN, TOWN OF NEWINGTON, MAP SHOWING LAND RELEASED TO WEX-TUCK REALTY LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, BERLIN TURNPIKE (U.S. ROUTE 5 & CT ROUTE 15), PROJECT No. 93-74, SERIAL No. 21A, PREPARED AT A SCALE OF 1"=40', DATED AUGUST 27, 2009. ON FILE IN THE NEWINGTON TOWN CLERK'S OFFICE AS MAP 3859.
8. "MAP PROPERTY OF MARCELLA PIETKERWITZ ET. AL. MAIN ST. NEWINGTON, CONN." PREPARED AT A SCALE OF 1"=40' BY E. C. FRESEN, LAND SURVEYOR, DATED APRIL 1950. ON FILE AT THE NEWINGTON TOWN CLERK'S OFFICE AS MAP 391.
9. "MAP PROPERTY OF MICHAEL A. PETANOVICH & RICHARD BURG, HARTFORD-NEW HAVEN TPK. NEWINGTON, CONN." PREPARED AT A SCALE OF 1"=40' BY E. C. FRESEN, LAND SURVEYOR, DATED OCTOBER 20, 1960. ON FILE AT THE NEWINGTON TOWN CLERK'S OFFICE AS MAP 1458.
10. "PROPERTY LINE & TOPOGRAPHIC SURVEY, BONEFISH GRILL, TOWN OF NEWINGTON, 2909 BERLIN TURNPIKE, HARTFORD COUNTY, CONNECTICUT", SHEET VB01-0101, PREPARED AT A SCALE OF 1"=30' BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC., DATED MAY 31, 2012 AND REVISED THROUGH JULY 11, 2012.
11. "COMPILATION PLAN, MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF WEX-TUCK REALTY II, LLC, 2909 BERLIN TURNPIKE, NEWINGTON, CONNECTICUT," FILE No. W3027, SHEET 1 OF 1, PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED MAY 15, 2013.
12. "UTILITY EASEMENT MAP, RETAIL DEVELOPMENT/MIXED USE, BERLIN TURNPIKE, NEWINGTON, CONNECTICUT", PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED AUGUST 19, 2013.
13. "LOT LINE ADJUSTMENT PLAN, BERLIN TURNPIKE (U.S. RTE. 5 & CONN. RTE. 15) AND MAIN STREET, NEWINGTON, CONNECTICUT", PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED AUGUST 14, 2012.
14. "EXHIBIT OF R.E.A. AGREEMENT, RETAIL DEVELOPMENT/MIXED USE, BERLIN TURNPIKE, NEWINGTON, CONNECTICUT", PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED SEPTEMBER 11, 2012.
15. "AS-BUILT SURVEY, BONEFISH GRILL, 2909 BERLIN TURNPIKE, NEWINGTON, CONNECTICUT", PREPARED AT A SCALE OF 1"=30' BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC., DATED AUGUST 12, 2013.
16. "ALTA/ACSM LAND TITLE SURVEY, PROPERTY SURVEY & TOPOGRAPHIC SURVEY, BERLIN TURNPIKE (U.S. RTE. 5 & CONN. RTE. 15) AND MAIN STREET, NEWINGTON, CONNECTICUT", SHEETS Sv-1 & Sv-2, PREPARED AT A SCALE OF 1"=30' BY VANASSE HANGEN BRUSTLIN, INC., DATED SEPTEMBER 23, 2014.



AREA=
43,648± SQUARE FEET
(1.00203± ACRES)

Legend

- CATCH BASIN
- CATCH BASIN
- ROUND CATCH BASIN
- ▬ FLARED END SECTION
- DS • DOWNSPOUT
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ SIGNAL MANHOLE
- ⊙ WATER MANHOLE
- ⊙ WATER GATE
- ⊙ SIAMSE CONNECTION
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ FLOOD LIGHT
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/LIGHT
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ BOLLARD/POST
- ⊙ BORING
- ⊙ MONITORING WELL
- TP-1 ■ TEST PIT
- WF 1-100 ■ WETLAND FLAG
- 100.0 x ■ SPOT ELEVATION
- ⊙ HANDICAP SYMBOL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL/LANDSCAPE
- EDGE OF TRAVELED WAY
- EDGE OF PATH
- BUILDING OVERHANG
- CURB
- STEEL GUARD RAIL
- WOOD GUARD RAIL
- BARBED/WIRE FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- UNDERGROUND DRAINAGE LINE
- UNDERGROUND SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND CABLE LINE
- UNDERGROUND FIBER OPTIC LINE
- STONE WALL
- TREE LINE
- STREAM
- WETLAND EDGE
- PROPERTY LINE
- EASEMENT LINE
- ZONING SETBACK LINE
- STATE FREEWAY LINE (NON-ACCESS)
- STATE HIGHWAY LINE
- CITY/TOWN LAYOUT LINE
- CC CONCRETE CURB
- SCE SLOPED GRANITE EDGING
- VGC VERTICAL GRANITE CURB
- SCE SLOPED CONCRETE EDGING
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- EP EDGE OF PAVEMENT
- BIT BITUMINOUS PAVEMENT
- CONC. CONCRETE
- S/W SIDEWALK
- CI CENTER INVERT
- UP UTILITY POLE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYLCHLORIDE PIPE
- DIP DUCTILE IRON PIPE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- VC VITRIFIED CLAY PIPE
- BWL BROKEN YELLOW LINE
- BYL BROKEN YELLOW LINE
- DYL DOUBLE YELLOW LINE
- SWL SINGLE WHITE LINE
- SYL SINGLE YELLOW LINE
- PIV POST INDICATOR VALVE
- CLF CHAIN LINK FENCE
- CB CATCH BASIN
- MH MANHOLE
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- OHW OVERHEAD LINE
- MW MONITORING WELL
- TP TEST PIT
- RIM= RIM ELEVATION
- INV= INVERT ELEVATION
- ELEV. ELEVATION
- F.F.E. FINISH FLOOR ELEVATION
- O/H OVERHEAD
- TYP. TYPICAL
- EOC EDGE OF CONCRETE
- AC AIR CONDITIONING
- EB ELECTRIC BOX
- EM ELECTRIC METER
- FA FIRE ALARM
- GM GAS METER
- H HAND HOLE
- M MAILBOX
- PP PEDESTRIAN PUSH BUTTON
- TS TRAFFIC SIGNAL
- WM WATER METER
- PB PARKING BUMPER
- SP SPAN POLE
- MA MAST ARM
- SHRUBS SHRUBS
- DECIDUOUS TREE DECIDUOUS TREE
- EVERGREEN TREE EVERGREEN TREE

MAP 23 BLOCK 142 LOT A
NOW OR FORMERLY
STATE OF CONNECTICUT
VOLUME 197 PAGE 354
VOLUME 2022 PAGE 297

MAP 23 BLOCK 142 LOT C
2897 BERLIN TURNPIKE
NOW OR FORMERLY
SB NEWINGTON 433, LLC
VOLUME 2154 PAGE 587

MAP 23 BLOCK 142 LOT B
NOW OR FORMERLY
CLM1857 REALTY LLC AND
NEWINGTON REALTY, LLC
VOLUME 197 PAGE 354
VOLUME 2136 PAGE 552



General Notes

- BOUNDARY EVIDENCE DEPICTED HEREON IS BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY CONDUCTED BY VHB IN NOVEMBER 2007, UPDATED IN SEPTEMBER 2010 AND ON MAP REFERENCE #16. EASEMENTS KNOWN TO EXIST ARE NOT DEPICTED HEREON. REFER TO MAP REFERENCE #16 FOR ADDITIONAL REFERENCE MARKERS.
- EXISTING CONDITIONS DEPICTED ON THIS SHEET ARE THE RESULT OF AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON JULY 29, 2015 AND JULY 30, 2015, UPDATED ON AUGUST 10, 2015 AND AUGUST 18, 2015.
- HORIZONTAL AZIMUTH REFERS TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM - NAD 83.
- BUILDING LINES/YARD SETBACKS DEPICTED HEREON ARE BASED ON NEWINGTON TOWN PLAN AND ZONING COMMISSION ZONING REGULATIONS, SECTION 4.5, TABLE B, DATED APRIL 22, 2009.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED HEREON ARE BASED ON PROJECT SITE PLANS, FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED HEREON. CALL BEFORE YOU DIG: DIAL 811 OR 1-800-922-4455.
- PARCELS SURVEYED LIE WITHIN ZONE 'X' AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP FOR HARTFORD COUNTY, CONNECTICUT, TOWN OF NEWINGTON, PANELS 511 & 512 OF 675, MAPS No. 09003C0511F & 09003C0512F, EFFECTIVE DATE: SEPTEMBER 26, 2008.

Firestone Complete Auto Care

2897 Berlin Turnpike
Newington, Connecticut

No.	Revision	Date	Appr'd.
1	LOCATE ADDITIONAL FEATURES	8/10/15	CCD
2	ADDITIONAL GRADING	8/18/15	CCD
3	FENCE ADDED	2/18/20	CCD

Designed by: _____ Checked by: CCD
Issued for: _____ Date: _____
As-Built August 6, 2015

Property Survey & Topographic Survey

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THIS IS AN PROPERTY SURVEY CONFORMING TO A HORIZONTAL CLASS A-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THIS IS ALSO A TOPOGRAPHIC SURVEY CONFORMING TO TOPOGRAPHICAL CLASS T-2 ACCURACY.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

CHRISTOPHER C. DANFORTH, L.S. #70118
DATE: 2/18/2020



AB-1

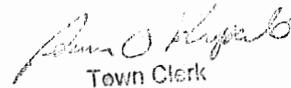
Sheet 1 of 1

Project Number: 41671.00

TOWN OF NEWINGTON
ZONING BOARD OF APPEALS
CONFERENCE ROOM L101
NEWINGTON, CONNECTICUT
NOVEMBER 7, 2019

RECEIVED FOR RECORD
IN NEWINGTON, CT

2019 NOV -8 PM 3:10


Town Clerk

1. Chairman Nicole Pane
Commissioner Timothy Hutvagner
Commissioner Michael Karanian
Commissioner Sharon Dunning

PRESENT

Andrew J. Armstrong
ZBA Administrator

2. Public Hearing

2.1 PETITION #00-19-03 Sean Kelly of Universal Supply Company located at 36 Holly Drive is requesting a variance related to fencing height located within the southern front setback to increase to 6 feet where a 4 foot maximum height is permitted per section 7.4.19B. 36 Holly Drive is located north of Holly Drive and east of Fenn road.

Chairman Pane: Before we begin let me explain how the ZBA meetings are run. There are two parts to the meeting, first is the public session when the petitioner will come up to the mike and comment on the petition and what the hardship is. After the petition has been heard anyone from the public may come up to the mike and state whether they are for or against the petition. The public part of the meeting will then be closed. During the work session the public may stay but cannot comment. If the petitioner can stay for the work session, it's fine, but if not, he can call the Building Department tomorrow and they will let you know what the decision was. Sharon do you mind reading the petition.

Comm. Dunning: PETITION #00-19-03 Sean Kelly of Universal Supply Company located at 36 Holly Drive is requesting a variance related to fencing height located within the southern front setback to increase to 6 feet where a 4 foot maximum height is permitted per Section 7.4.19B. 36 Holly Drive is located north of Holly Drive and east of Fenn Road.

Comm. Pane: Come on up. Please state your name and address.

Sean Kelly, 36 Holly Drive, Newington, CT.

Chairman Pane: How are you.

Sean Kelly: Good, thank you.

So, what I am basically looking for is that the main characteristics of this location where I have frontage on both sides and on the Holly Drive side. So, based on the zoning, it does not belong here, the 6ft fence there, because of the setbacks.

So on the back side what you have is loading docks and it limits storage protection of the outside facility because of the layout with the circle at the end. Our receiving docks are at the dock at the far right corner and that is where the concrete pad is so the trucks can back in there and trailers to unload material into the building, so there is limited outdoor storage and again, I don't have security to that side of the building. I have already added cameras to protect the building but even with my cameras I had someone deface the building. The back side of the building was spray painted. I spent a fair amount of time renovating this location and that is a picture of the group painted the building has been empty for quite some time and they really dressed it up. If you get an opportunity to look at it, come down and take a look at it. It's probably the one of the nicest looking buildings in Newington at this point. There are a couple of things that the neighbor across the street from me on Holly Drive has an 8' fence which you can see in that picture at the end of the road. So I am just trying to understand the clause because that is an 8' fence and I am looking for a 6' fence. A 4' fence doesn't offer any protection. I'm 6'2" and a 4' fence wouldn't stop me from anything, but that is basically what I am looking to do.

Chairman Pane: Any questions?

Andrew Armstrong

ZBA Administrator: I just wanted to add to put some context in it from this staff report that didn't make it in; the fencing regulation on this property only allows for a maximum height of 4' on front yards but it allows for a maximum of 8' in height on side yards and also up to 12' in height outside of the yards altogether so outside the yard could be 12". So I just wanted to provide some context about the rules for fencing within this section of the fence which happens to be within the front setback.

Comm. Dunning: Okay, would you repeat the last part, 12' from...

Andrew Armstrong

ZBA Administrator: I was just trying to provide context for the rules of fencing but internally to the site, if you are not within the setback the fence can be up to 12' in height, not far from that 25' setback can be up to 12'. That is really all I had, to add and both sides of the property are encumbered by front yard setbacks which is pretty unusual because it eats up a lot of the actual area of the site. I didn't see any issues as far as from the safety or zoning perspective where the fence is, it sits over there at the end of the cul-de-sac and it does not affect visibility or site triangles in sight.

Comm. Dunning: Thank you.

Chairman Pane: Why is this considered the front?

Andrew Armstrong

ZBA Administrator: A front setback is where a roadway is, so this property is bound by two roadways which has large front setbacks rather than side setbacks within the facility. This particular side runs the full length of the property and there is no front yard setback on this side as well as the other side.

Chairman Pane: So if he didn't have that Holly Drive there he would have been able to put that up he would have been able to put that up no matter what went up in here.

Andrew Armstrong

ZBA Administrator: That's correct. So if there was no roadway there would be a side yard setback and he could go up to 8 feet or if he was outside the sideyard setback which is less than 25' he could go up to 12 feet.

Comm. Dunning: And there's no issues with the type of fence. Is it a metal fence.

Andrew Armstrong

ZBA Administrator: No. A chain fence. There is similar fencing across the street.

Chairman Pane: Any other questions? (None) Thank you very much. The petitioner is welcome to stay for our work session.

3. Public Participation

Chairman Pane: I don't see anyone from the public. Is anybody going to make a motion to close the public participation and go to the work session.

Comm. Hutvagner: I make a motion to close the public meeting and go right to the work session.

Comm. Karanian: I second it.

Chairman Pane: All in favor? Aye unanimously.

4. Work Session

Comm. Dunning: Petition #00-19-03 Sean Kelly of Universal Supply Company located at 36 Holly Drive is requesting a variance related to fencing height located within the southern front setback to increase to 6 feet where a 4 foot minimum height is permitted per Section 7.4.19B.36 36 Holly Drive is located north of Holly Drive and East of Penn Road.

Chairman Pane: Thank you. I don't see an issue with this. I did drive by and it looked very nice, it looked very nice, the fence and I just do not see an issue for wanted up to 6'.

Comm. Hutvagner: Now where would the fence go?

Andrew Armstrong

ZBA Administrator: Inside the parking lot here - they took the variance request stops at this 25' setback line that runs within the parking lot There is an existing 6' fence that has already been there over on this side and comes on the other side of the culdesac here, also 6' from the road.

Comm. Dunning: I have a question. So, if we had the arrow narrowed down approximately in front of the trees, where is the fence.

Andrew Armstrong:

ZBA Administrator: It's running along the inside the area here, the parking area here and it runs up along the island on the east side and the west side of the cul de sac and then the gate closes off here, so it is protecting these areas down here plus there is storage on the inside that is closed off.

Chairman Pane: There is also an existing fence by that parking area.

Andrew Armstrong:

ZBA Administrator: Correct. Yes. There was some existing 6' fencing in this area which, technically, in the front setback was grandfathered in.

Comm. Hutvagner: I agree. I went by there and did realize it. I could see why he would want good fencing to protect himself.

Chairman Pane: Does anyone want to make a motion?
I make a motion to approve the petition.

Comm. Karanian: I second the motion.

Chairman Pane: All in favor? Aye unanimously.

Sean Kelly: Thank you very much. I appreciate it.

Chairman Pane: You're welcome.

5. New Business

Chairman Pane: Any new business. Andrew? I don't have any new business. No.

Andrew Armstrong: I don't have any new business. No.

6. Minutes of Previous Meeting

June 27, 2019

Comm. Dunning: I make a motion that we approve the minutes of June 27, 2019.

Chairman Pane: I second it. All in favor? Aye unanimously.

7. Old Business

Chairman Pane: Any old business? None.

Comm. Karanian: Are we setting dates for 2020?

Andrew Armstrong

ZBA Administrator: As soon as I get those I will send them out to you.

Comm. Karanian: Like the one in January, you have to post that by 30 days. Actually I believe our first January meeting was set on last year's scheduling.

Chairman Pane: Sounds good.

8. Adjournment.

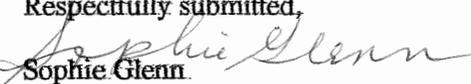
Chairman Pane: I will make a motion to adjourn.

Comm. Dunning: Second.

Chairman Pane: All in favor? Aye unanimously.

The meeting adjourned at 7:20 P.M.

Respectfully submitted,


Sophie Glenn

Recording Secretary